

NOT AN OFFICIAL DOCUMENT

3

GINA PIMENTEL
RECORDER
STATE OF INDIANA
LAKE COUNTY
FILED FOR RECORD

2021-033619

3:32 PM 2021 Apr 22

MAIL TAX STATEMENTS TO:
Marilyn D. Kwinta
Susan K. Duggan
3726 Sandalwood Drive
Highland, IN 46322-2067

RETURN TO:
Marilyn D. Kwinta
Susan K. Duggan
3726 Sandalwood Drive
Highland, IN 46322-2067

Parcel Number 45-07-22-406-012.000-026

QUIT CLAIM DEED

This indenture witnesseth that **MARILYN D. KWINTA**, a widow, not remarried, grantor, of Highland, Lake County, State of Indiana quit claims and releases to **MARILYN D. KWINTA and SUSAN K. DUGGAN**, joint tenants with full rights of survivorship, grantees, of Highland, Lake County, State of Indiana for and in consideration of Zero (\$0.00) Dollars, all her interest in the following Real Estate in Highland, Lake County, State of Indiana, to wit:

Lot 6, in Sandalwood Subdivision, Phase 1, an Addition to the Town of Highland, as per plat thereof recorded in Plat Book 82, page 91, in the Office of the Recorder of Lake County, Indiana, excepting therefrom that part described as follows: Beginning at the Southwest corner of said Lot 6; thence North 00 degrees 31 minutes 14 seconds East, along the West line of said Lot 6, a distance of 120.02 feet to the Northwest corner of said Lot 6; thence Northeasterly, along the curved Northwesterly line of said Lot 6, being a curve concave to the Northwest and having a radius of 50.0 feet, an arc distance of 31.15 feet; thence South 36 degrees 01 minutes 28 seconds East, 162.25 feet to a point which lies 125.47 feet East of the Southwest corner of said Lot 6; thence North 89 degrees 28 minutes 46 seconds West, along the South line of said Lot 6, a distance of 125.47 feet to the point of beginning.

More commonly known as:
3726 Sandalwood Drive
Highland, Lake County, IN 46322-2067

NO SALES DISCLOSURE NEEDED (Exempt Transaction---- No Money Transferred)

DULY ENTERED FOR TAXATION SUBJECT TO FINAL ACCEPTANCE FOR TRANSFER

APR 22 2021

JOHN E. PETALAS
LAKE COUNTY AUDITOR



25
CC
RT

NOT AN OFFICIAL DOCUMENT

THIS CONVEYANCE SUBJECT TO:

1. Any existing liens of record, including real estate taxes and assessments;
2. Zoning and building ordinances;
3. Ditches and drains, if any;
4. Covenants, restrictions of record; and
5. Highways and public right-of-ways.

Dated: April 22, 2021.




Marilyn D. Kwinta, Grantor

State of Indiana, Lake County, ss:

Before me, the undersigned, a Notary Public in and for this County and State, this 22nd day of April, 2022, personally appeared, **Marilyn D. Kwinta**, a widow, not remarried, acknowledged the execution of the foregoing quit claim deed and stated the above representations are true and accurate.

In witness whereof, I have hereunto subscribed my name and affixed my official seal.

My commission expires on August 17, 2025.

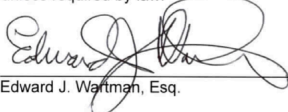


Jeffrey A. Manjarrez
Notary Public--- State of Indiana



I am a resident of Lake County, Indiana.

I affirm, under the penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.



Edward J. Wartman, Esq.

NOT AN OFFICIAL DOCUMENT

This instrument prepared by:

Mr. Edward J. Wartman, Esq.
Attorney at Law
516 E. 86th Avenue
Merrillville, IN 46410-6213
(219) 791-1520
Fax (219) 791-9366
e-mail: ewartman@aol.com

Property of Lake County Recorder