

4B

TOWN OF SCHERERVILLE, LAKE COUNTY, INDIANA

ORDINANCE NO. 1833

AN ORDINANCE AMENDING TOWN OF SCHERERVILLE ZONING ORDINANCE NO. 1797, AND TOWN OF SCHERERVILLE ZONING MAP REPLACEMENT ORDINANCE NO. 1827, ALL AMENDMENTS THERETO, AND ALL MATTERS RELATED HEREWITH.

WHEREAS, the Town Council of the Town of Schererville, Lake County, Indiana (hereinafter referred to as "Town Council"), did, on the 28th day of December, 2011, pass and adopt Town Zoning Ordinance No. 1797; and

WHEREAS, the Town Council thereafter, on the 11<sup>th</sup> day of November, 2012, passed and adopted Town Zoning Map Replacement Ordinance No. 1827; and

WHEREAS, the Town Council possesses the power and authority pursuant to I.C. §36-7-4, *et seq.*, as amended from time to time, to pass and adopt amendments to the Town's Zoning Districts and Official Town Zoning Map; and

WHEREAS, the Plan Commission of the Town of Schererville, Lake County, Indiana (hereinafter referred to as the "Plan Commission"), has reviewed a Petition for Zone Change of certain parcels of real estate described in Exhibit A, for development of a retail commercial development, from RB Schererville Crossings, LLC, a Delaware Limited Liability Company, authorized to do business in the State of Indiana, by Regency Realty Group, Inc., a Florida Corporation, authorized to do business in the State of Indiana, its Managing Member (hereinafter collectively referred to as the "Developer"); and

WHEREAS, as part of the Developer's Petition, Developer has applied for a Zone Change for the subject parcels of real estate from C-3 Highway Commercial Zoning District Classification to C-3 Shops on Main Highway Commercial Planned Unit Development (C-3 PUD) Zoning District Classification, for development of a retail commercial development, commonly referred to as "Shops on Main" (hereinafter referred to as the "Proposed Development"); and

WHEREAS, the Plan Commission, after review of Developer's Petition, and after being duly advised, did, on the 18th day of February, 2013, pursuant to published Notice as required by applicable law, hold a Public Hearing on the advisability and necessity of rezoning said property, and at the conclusion thereof, Certified its Favorable Recommendation to the Town Council for approval of the Proposed Development and change of Zoning District Classification in the Town Zone Map from C-3 Highway Commercial Zoning District Classification to C-3 Shops on Main Highway Commercial Planned Unit Development (C-3 PUD) Zoning District Classification; and

WHEREAS, the Town Council, having reviewed the Favorable Recommendation Certification of the Plan Commission and after being duly advised regarding the Petition and the

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STATE OF INDIANA  
LAKE COUNTY  
FILED FOR RECORD  
MAR 27 AM 10:51  
MIGUEL TORRES  
TOWN

**FILED**  
MAR 12 2013  
PEGGY HOLINGA KATONA  
LAKE COUNTY AUDITOR

001412

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INLC 16 CRH  
AD 100  
CR-023136

Commitments proposed under the Developer's PUD Contract, required under applicable law and Town Zoning Ordinance No. 1797, as amended from time to time, now concurs that it is advisable, appropriate, and in the best interests of the Town of Schererville, that the Town approve a PUD Contract, and Primary Development Plan, authorizing entry into same, amend the official Town Zoning Map as applied for, and approve the Zone Map Zoning District Classification Amendment identified herein.

**NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF SCHERERVILLE, LAKE COUNTY, INDIANA, AS FOLLOWS:**

**SECTION ONE:** That Town Zoning Ordinance No. 1797 and Town Zoning Map Replacement Ordinance No. 1827 are each hereby amended as set forth hereinafter.

**SECTION TWO: Definitions.** Capitalized terms not otherwise defined in this Ordinance shall have the meanings ascribed to them in the Zoning Ordinance.

- 2.1 **Permitted Uses:** The uses authorized by the Town C-3 Highway Commercial Zoning District, as modified by the US 41 Corridor Overlay District, and auto part sales (provided that same is not the principal retail or business of the entity or the sole/primary merchandise offered for sale (i.e. not primary use or purpose)), strip shopping centers, outdoor seating, sidewalk sales (limited and ancillary to the regular business), restaurants which serve food or beverage directly to occupants of motor vehicles, drive through facilities and/or animal hospitals that are ancillary to a retailer selling pet-related products.
- 2.2 **Primary Development Plan:** The overall plan for the Real Estate, including all materials and exhibits attached hereto and incorporated herein by reference as **Exhibit B**, including the Planned Signage District.
- 2.3 **Underlying Zoning District:** The C-3 Highway Commercial Zoning District classification, in effect on the date of adoption of this Ordinance, as modified by the US 41 Corridor Overlay District, in effect on the date of adoption of this Ordinance, are applicable to the Real Estate.

**SECTION THREE: Applicability of Ordinance.**

- 3.1 The Official Town Zoning Map established by Town Zoning Map Replacement Ordinance No. 1827, and made part of the Town Zoning Ordinance, is hereby amended to change the zoning district classification of the Real Estate to the C-3 Shops on Main Planned Unit Development (PUD) Zoning District.
- 3.2 This Ordinance shall apply to the Real Estate upon adoption, and shall hereafter be referred to as the "C-3 Shops on Main PUD Zoning Ordinance."
- 3.3 All provisions of the Zoning Ordinance in conflict with the provisions of this C-3 Shops on Main PUD Zoning Ordinance, and the approved Primary Development Plan, are hereby rescinded as applied to the Real Estate and shall be superseded

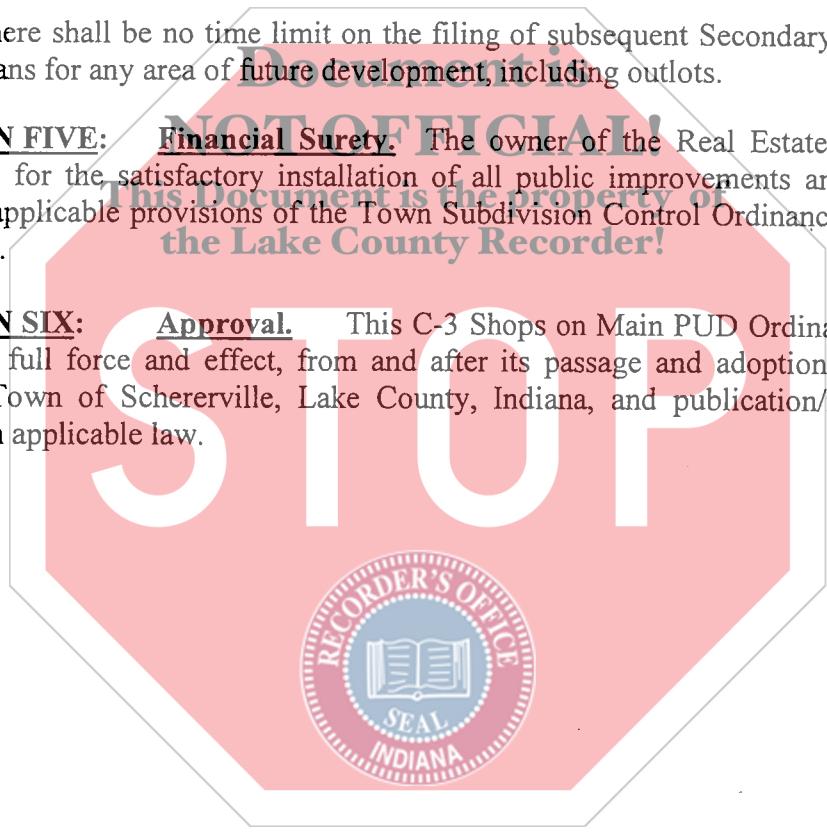
and replaced by the terms of this C-3 Shops on Main PUD Ordinance, and the Primary Development Plan accompanying same.

**SECTION FOUR: Development and Use of the Real Estate.**

- 4.1 The Primary Development Plan and the Permitted Uses are hereby approved. The Primary Development Plan is intended to: (i) establish the basic layout and general vision for the development of the Real Estate by illustrating one (1) possible layout of buildings, lots, internal drives, uses, green space, thoroughfares, and buildings as permitted by this C-3 Shops on Main PUD Ordinance; (ii) establish standards for the development of the Real Estate; and (iii) establish standards for signs on the Real Estate as set forth in the Planned Signage District.
- 4.2 Review by the Plan Commission of subsequent Secondary Development Plans shall be in conformance with the applicable provisions of Town Zoning Ordinance No. 1797, as amended, and such plans shall be approved by the Plan Commission as long as the plans are in general conformance with the standards and specifications set forth in this C-3 Shops on Main PUD Ordinance and the Primary Development Plan accompanying same.
- 4.3 There shall be no time limit on the filing of subsequent Secondary Development Plans for any area of future development, including outlots.


**SECTION FIVE: Financial Surety.** The owner of the Real Estate shall provide acceptable surety for the satisfactory installation of all public improvements and facilities as provided by the applicable provisions of the Town Subdivision Control Ordinance, as amended from time to time.


**SECTION SIX: Approval.** This C-3 Shops on Main PUD Ordinance shall take effect, and be in full force and effect, from and after its passage and adoption by the Town Council of the Town of Schererville, Lake County, Indiana, and publication/recordation in conformance with applicable law.

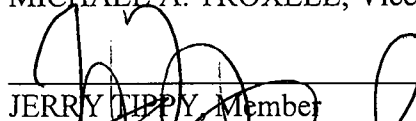


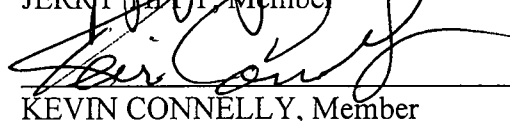
ALL OF WHICH IS PASSED AND ADOPTED BY THE TOWN COUNCIL OF THE TOWN OF SCHERERVILLE, LAKE COUNTY, INDIANA THIS 6th DAY OF March, 2013.

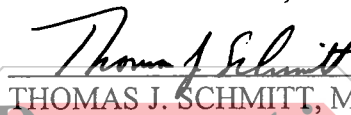
TOWN OF SCHERERVILLE,  
LAKE COUNTY, INDIANA, TOWN COUNCIL

  
ROB GUETZLOFF, President

  
MICHAEL A. TROXELL, Vice-President

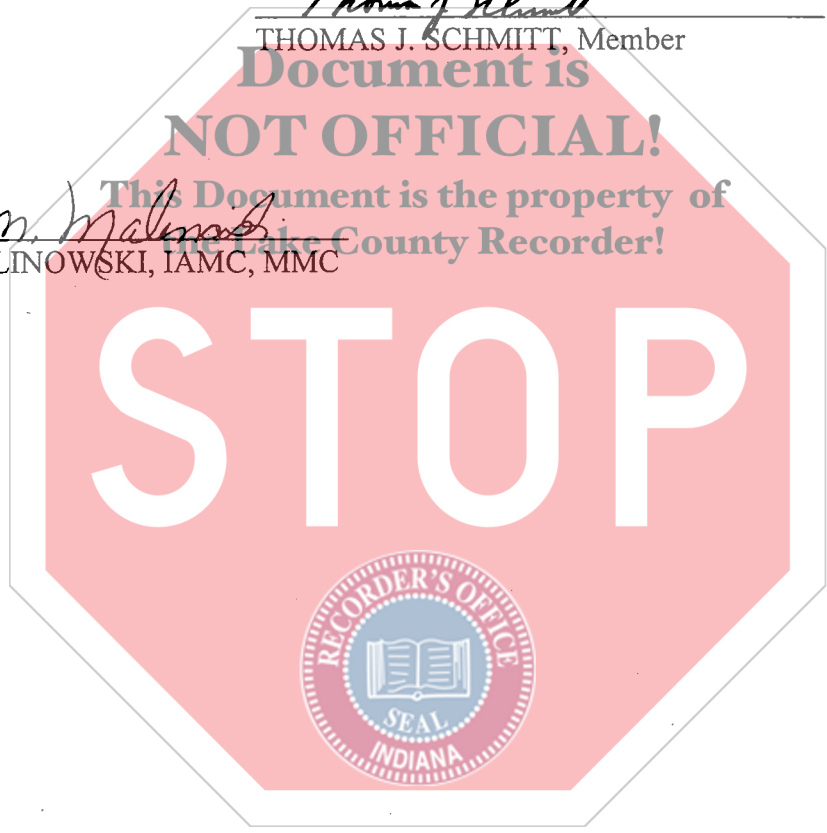
  
JERRY TIPPY, Member

  
KEVIN CONNELLY, Member

  
THOMAS J. SCHMITT, Member

ATTEST:

  
JANICE M. MALINOWSKI, IAMC, MMC  
Clerk-Treasurer



**EXHIBIT A**

**LEGAL DESCRIPTION**

**for  
Shops on Main  
Rezone to C-3 / PUD  
by  
RB Schererville Crossings, LLC**

**Shops on Main – North:**

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH, RANGE 9 WEST, OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA, ALSO BEING A PART OF LOT 1 OF HACKEL'S ADDITION BEING A SUBDIVISION RECORDED OCTOBER 22, 2002, AS DOCUMENT 2002095080 IN PLAT BOOK 92, PAGE 68, IN THE OFFICE OF THE LAKE COUNTY RECORDER, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWESTERN CORNER OF LOT 1 OF HACKEL'S ADDITION BEING A SUBDIVISION RECORDED OCTOBER 22, 2002, AS DOCUMENT 2002095080 IN PLAT BOOK 92, PAGE 68, IN THE OFFICE OF THE LAKE COUNTY RECORDER; THENCE NORTH 00 DEGREES 24 MINUTES 02 SECONDS WEST (ASSUMED BEARING) ALONG THE WESTERN LINE OF SAID LOT 1, ALSO BEING THE EASTERN RIGHT-OF-WAY LINE OF US HIGHWAY NO. 41, A DISTANCE OF 758.68 FEET TO THE NORTHWESTERN CORNER OF SAID LOT 1, SAID POINT LYING 360.00 FEET SOUTHERLY OF (MEASURED PERPENDICULAR TO) THE NORTH LINE OF SAID QUARTER SECTION; THENCE SOUTH 89 DEGREES 19 MINUTES 36 SECONDS EAST PARALLEL WITH AND 360 FEET SOUTHERLY OF (MEASURED PERPENDICULAR TO) THE NORTH LINE OF SAID QUARTER SECTION, ALSO BEING THE NORTHERN LINE OF SAID LOT 1, 619.79 FEET TO A POINT LYING 670.00 FEET EASTERLY OF (MEASURED PERPENDICULAR TO) THE WEST LINE OF SAID QUARTER SECTION; THENCE NORTH 00 DEGREES 28 MINUTES 47 SECONDS WEST PARALLEL WITH AND 670 FEET EASTERLY OF THE WEST LINE OF SAID QUARTER SECTION 320.06 FEET TO A POINT LYING 40.00 FEET SOUTHERLY OF (MEASURED PERPENDICULAR TO) THE NORTH LINE OF SAID QUARTER SECTION; THENCE SOUTH 89 DEGREES 19 MINUTES 36 SECONDS EAST PARALLEL WITH AND 40 FEET SOUTHERLY OF THE NORTH LINE OF SAID QUARTER SECTION 543.69 FEET; THENCE SOUTH 00 DEGREES 01 MINUTES 15 SECONDS EAST 320.02 FEET TO THE NORTHEAST CORNER OF SAID LOT 1 IN HACKEL'S ADDITION; THENCE CONTINUING SOUTH 00 DEGREES 01 MINUTES 15 SECONDS EAST ALONG THE EASTERN LINE OF SAID LOT 1 IN HACKEL'S ADDITION 638.00 FEET TO A CORNER OF SAID LOT 1; THENCE NORTH 89 DEGREES 30 MINUTES 18 SECONDS WEST ALONG A SOUTHERN LINE OF SAID LOT 1 A DISTANCE OF 117.00 FEET TO A CORNER OF SAID LOT 1; THENCE SOUTH 00 DEGREES 01 MINUTES 15 SECONDS EAST ALONG AN EASTERN LINE OF SAID LOT 1 A DISTANCE OF 117.00 FEET TO THE SOUTHERN LINE OF SAID LOT 1; THENCE NORTH 89 DEGREES 30 MINUTES 18 SECONDS WEST ALONG THE SOUTHERN LINE OF SAID LOT 1 A DISTANCE OF 1038.84 FEET TO THE POINT OF BEGINNING, CONTAINING 23.79 ACRES, MORE OR LESS.

**Shops on Main – South:**

PART OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 4, TOWNSHIP 35 NORTH, RANGE 9 WEST, OF THE SECOND PRINCIPAL MERIDIAN, IN LAKE COUNTY, INDIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWESTERN CORNER OF LOT 1 OF HACKEL'S ADDITION BEING A SUBDIVISION RECORDED OCTOBER 22, 2002, AS DOCUMENT 2002095080 IN PLAT BOOK 92, PAGE 68,

IN THE OFFICE OF THE LAKE COUNTY RECORDER; THENCE SOUTH 00 DEGREES 24 MINUTES 02 SECONDS EAST (ASSUMED BEARING) ALONG THE SOUTHERLY EXTENSION OF THE WESTERN LINE OF SAID LOT 1, ALSO BEING THE EASTERN RIGHT-OF-WAY LINE OF US HIGHWAY NO. 41, A DISTANCE OF 33.00 FEET TO A POINT LYING 33.00 FEET SOUTHERLY OF (MEASURED PERPENDICULAR TO) THE SOUTHERN LINE OF LOT 1 IN SAID HACKELS' ADDITION AND TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE SOUTH 89 DEGREES 30 MINUTES 18 SECONDS EAST PARALLEL WITH AND 33 FEET SOUTHERLY OF (MEASURED PERPENDICULAR TO) THE SOUTHERN LINE OF LOT 1 IN SAID HACKEL'S ADDITION 1188.63 FEET TO THE WESTERN LINE OF THE CHICAGO, INDIANA AND SOUTHERN RAILROAD COMPANY PROPERTY ("RAILROAD") CONVEYED BY WARRANTY DEED RECORDED OCTOBER 20, 1908, IN DEED RECORD 137, PAGE 313, IN THE OFFICE OF THE LAKE COUNTY RECORDER; THENCE SOUTH 00 DEGREES 01 MINUTES 15 SECONDS EAST ALONG THE WESTERN LINE OF SAID "RAILROAD" PROPERTY 418.02 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4; THENCE NORTH 89 DEGREES 30 MINUTES 18 SECONDS WEST ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 4 A DISTANCE OF 1185.86 FEET TO THE EASTERN RIGHT-OF-WAY LINE OF US HIGHWAY 41; THENCE NORTH 00 DEGREES 24 MINUTES 02 SECONDS WEST ALONG THE EASTERN RIGHT-OF-WAY LINE OF US HIGHWAY 41 A DISTANCE OF 418.05 FEET TO THE POINT OF BEGINNING, CONTAINING 11.393 ACRES, MORE OR LESS.



**EXHIBIT "B"**

**SHOPS ON MAIN PUD**

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**PRIMARY DEVELOPMENT PLAN**

**NOT OFFICIAL!**

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the Lake County Recorder!**

**STOP**



by  
RB Schererville Crossings, LLC  
1211 W. 22nd St., Suite 300  
Oak Brook, IL 60523

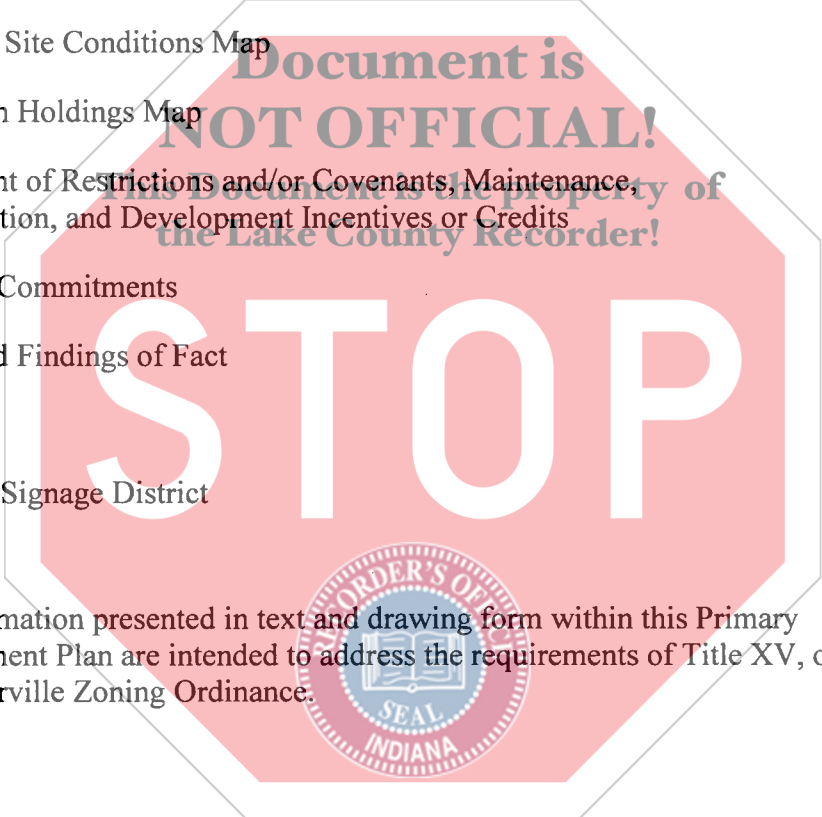
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**PRIMARY DEVELOPMENT PLAN**

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The information presented in text and drawing form within this Primary Development Plan are intended to address the requirements of Title XV, of the Town of Schererville Zoning Ordinance.





**TAB 1**

**Document is  
NOT OFFICIAL!**

**This Document is the property of  
the Lake County Recorder!**

**STOP**



# VICINITY MAP



## SHOPS ON MAIN PUD

by  
RB Schererville Crossings, LLC

**TAB 2**



# SHOPS ON MAIN PUD

## ----- PRIMARY DEVELOPMENT PLAN

### INTRODUCTION

The Shops on Main PUD is proposed to be a commercial development on 35.18± acres located southeast of the intersection of US 41 and Main Street. The development is proposed to include three (3) lots and approximately five (5) outlots.

The initial phase of development is planned for Lot 1 to consist of three (3) buildings with associated parking and loading facilities. These buildings are proposed to include: (i) a main retail building containing approximately five (5) major tenants and approximately 130,500 square feet of gross leaseable area; and (ii) two (2) smaller buildings, each with approximately 10,000 – 11,000 square feet in gross leaseable area.

Future development is anticipated to include a future retail building on Lot 1 of approximately 32,000 square feet, the development of Lot 2, and the development of the various outlots generally as depicted on the Proposed Site Plan found under Tab B – Plans, below.

### SITE DESCRIPTION

The subject property is an assemblage of 10 individual parcels comprising a total of 35.18± acres. Currently, the site is vacant with no significant stands of tree or other site amenities.

### EXISTING SITE CONDITIONS MAP

For a map of existing site conditions, please refer to Sheets C-02 through C-06 of the Shops on Main Final Engineering Plans submitted as part of the petition for Primary Plat approval filed simultaneously with this PUD request, which plans are incorporated herein and made a part hereof by this reference.

### COMMON HOLDINGS MAP

A Common Holdings Map is not applicable as RB Schererville Crossings, LLC, owner and applicant for the Shops on Main PUD, does not own any adjoining parcels.

### STATEMENT OF PROTECTIVE RESTRICTIONS AND/OR COVENANTS, MAINTENANCE, PRESERVATION, AND DEVELOPMENT INCENTIVES OR CREDITS

The applicable standards, restrictions and/or covenants are set out in the Shops on Main PUD Ordinance; no separate restrictions and/or covenants are proposed. All on-site improvements not

dedicated to and accepted by the Town of Schererville for maintenance shall be maintained by the owner. This redevelopment site warrants no unique preservation. No development incentives or credits apply to the Shops on Main PUD.

### **WRITTEN COMMITMENTS**

The applicable standards and restrictions are set out in the Shops on Main PUD Ordinance; no separate written commitments are proposed.

### **PROPOSED FINDINGS OF FACT**

The Plan Commission may recommend approval of the establishment of the Shops on Main PUD upon finding that:

- i. The uses proposed will not be detrimental to present and potential surrounding uses, but will have a beneficial effect which could not be achieved under any other zoning district;
- ii. The amendment to the requirements of this Zoning District is warranted by the design and amenities incorporated in the Primary Plan;
- iii. Land surrounding the proposed development either can be planned in coordination with the proposed development, or will be compatible in use;
- iv. The proposed change to a Planned Unit Development (PUD) Zoning District is consistent with the general intent of the Comprehensive Plan;
- v. The proposed Primary Development Plan is generally consistent with the Development Standards outlined in Section 5 of the Zoning Ordinance;
- vi. Existing and proposed streets are suitable and adequate to carry anticipated traffic within the proposed district, and within the vicinity of the proposed district;
- vii. Existing and proposed utility services are adequate for the proposed development;
- viii. Each phase of the proposed development, as it is proposed to be completed, contains the required parking spaces, landscape and utility areas necessary for creating and sustaining a desirable and stable environment; and
- ix. The proposed Planned Unit Development (PUD) Zoning District, and all proposed buildings, parking spaces, landscape, drainage and utility areas, can be completely developed within five (5) years of the establishment of the Zoning District, while Future Retail "F", the outlots, and Phase 2 maybe developed outside of the five (5) year timeframe.

**TAB 3**



**TAB 4**



# Shops on Main PUD

## Planned Signage District

Updated 2/27/2013

### Design Intent

Tenant signage is an integral and important component of the overall design theme for Shops on Main PUD. It is imperative to the success of the Shops on Main that the tenant's signage is consistent with the criteria described herein so as to relate to the vision established by the Landlord and the Town of Schererville. Signage criteria are intended to control the size and location of signs in order to keep them in scale with adjacent buildings and surrounding developments.

The purpose of this Planned Signage District is to provide uniform style for all freestanding (monument and pylon) signs, building mounted signs and window signs and shall include the criteria and specifications for general appearance, format of message, font size and style, light, location, construction materials, sign proportion and number of signs.

The Tenant's sign design and specifications shall be submitted to the Landlord and the Town of Schererville as outlined below. Any installed signs that have not been approved and/or do not conform to the terms of this Planned Signage District shall immediately be removed and/or revised to meet these requirements at the Tenant's expenses. Any deviations from the requirements of this Planned Signage District shall require specific approval from Landlord and the Town of Schererville Planning Commission at a public meeting (not public hearing).

### General Requirements

All signage is to be of the highest quality construction and must be manufactured using approved non-combustible materials. Shop fabrication and painting is required. All signs must be of new construction. Reused, renovated and remodeled signs shall not be permitted. All attachments, labels, fasteners, mounting brackets, wiring, clips, transformers, disconnects, lamps and other mechanisms required for the signage shall be concealed from view and shall be designed to prevent light from leaking out around the perimeter of the sign.

All wall signs shall be composed of individually illuminated or backlit letters with the exception of logos. Letter face is to be colored translucent Plexiglas or equal. Letter return and trim shall be of a contrasting color from the letter face. Returns and trim shall be prefinished aluminum or shop painted aluminum. The following are acceptable sign types: cut metal letterforms, pin-mounted metal or glass logotypes, porcelain enamel sign faces, stencil cut metal, and metal channel letters with or without raceways (unless required by Landlord). The Landlord shall review and approve the use of banners, blade signs, window graphics and awning signage on a per tenant basis as supplemental to the wall signage authorized by this Planned Signage District. No acrylic or plastic box signs shall be allowed. Exterior signs shall be watertight and comply with all governing electrical code. Neither the sign manufacturer's name nor logo shall be displayed on or near the sign.

The tenant's sign(s) shall be limited to the Tenant's corporate or official trade name as stated in the Lease. The style or font of lettering shall be limited to one, except for logos or trademark designs. The use of a corporate logo, symbols, trademarks or other established corporate insignia are prohibited unless specifically approved in writing by the landlord on an individual basis. The names of the business, products or services provided shall be allowed.

All signs shall bear the U.L. label and their installation shall comply with all governing building and electrical codes, and the criteria set forth in this Planned Signage District and the Sign Regulations of the Town of Schererville. If there are any conflicts with the Town of Schererville Sign Regulations and these criteria, the provisions of this Planned Signage District shall control.



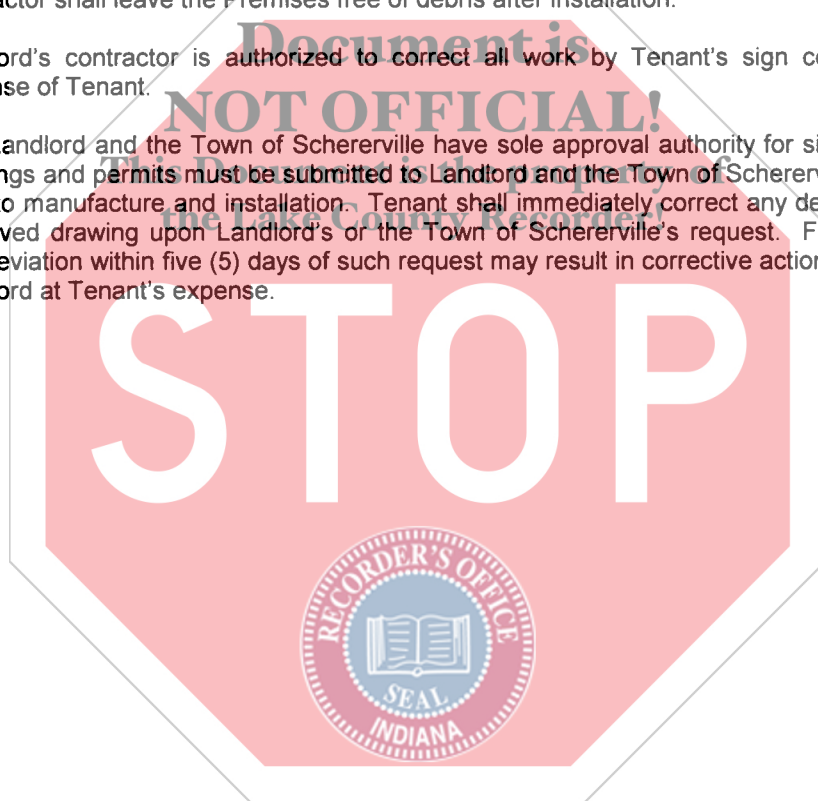
Electrical service to all Tenant signs shall be on Tenant's meter.

Sign illumination shall be controlled by a seven-day/24 hour time clock located in the rear of the Premises. Tenant shall set time clock to have signs on from dusk to a minimum of 2 hours after closing time.

Illumination standards per Town of Schererville Zoning Ordinance Chapter XIX, Section 6C shall apply.

Each Tenant shall install its exterior sign on the sign band of the building in accordance with the following criteria:

- (1) Tenant shall provide Landlord with Architectural drawings of the proposed sign(s) for their unit as well as the linear frontage of their storefront.
- (2) Tenant shall obtain Landlord's approval as set forth below prior to making application with the Town of Schererville for any permits or governmental approvals.
- (3) After obtaining Landlord's approval, Tenant shall obtain any and all permits and governmental approvals for signs prior to commencing work and provide Landlord with a copy of all permits and governmental approvals.
- (3) Tenant shall be responsible for the fulfillment of all requirements and specifications.
- (4) Tenant shall be responsible for the operations of its sign contractor.
- (5) All penetrations of the building structure by the sign contractor, required for sign installation, shall be sealed in watertight condition and shall be patched to match adjacent finish. The sign contractor shall leave the Premises free of debris after installation.
- (6) Landlord's contractor is authorized to correct all work by Tenant's sign contractor at the expense of Tenant.
- (7) The Landlord and the Town of Schererville have sole approval authority for signage. All sign drawings and permits must be submitted to Landlord and the Town of Schererville for approval prior to manufacture and installation. Tenant shall immediately correct any deviation from the approved drawing upon Landlord's or the Town of Schererville's request. Failure to correct any deviation within five (5) days of such request may result in corrective action being taken by Landlord at Tenant's expense.



**Anchor Tenant (leasable area above 9,000 s.f.)**

**Number of Wall Signs:**

The number of signs shall be limited to two (2) main signs per tenant plus three (3) accessory signs such as an under canopy sign or wall plaques. The Future Retail "F" building may have three (3) main signs if the entire building is occupied by one (1) tenant.

**Wall Sign Area Requirements:**

The maximum sign area shall not exceed 4 sq. ft. of sign area per one (1) linear foot of building frontage. The combined maximum gross sign area for all wall and permanent window signs per business shall not exceed 4 square foot of sign area per one (1) linear foot of the unit frontage. Total wall sign area per Tenant shall not exceed an area of 550 square feet per street frontage. Sign height shall be as generally depicted on the Sign Elevation drawings attached hereto.

**Location of Wall Signs:**

Signage must be facing a public space (i.e. street or parking area).

**Height of Wall Signs Above Grade:**

Wall signs are not allowed to extend above parapet wall. Refer to Sign Elevation drawings attached hereto.

**Mounting:**

Raceways are not allowed. The total sign projection from the building wall including raceways, if allowed, shall not exceed a maximum depth of twelve inches (12") from the building wall.

**Window Sign Requirements:**

Permanent window signs shall be placed on the interior face of the window and shall not exceed twenty-five percent (25%) of the total window area or 24 square feet, whichever is less. The total window area occupied by all permanent and temporary window signage shall not exceed fifty (50%) of the total window surface area.

**Small Shop Tenants (leasable area below 9,000 S.F.)**

**Number of Signs:**

One (1) wall sign shall be allowed on front and rear elevations. End cap tenants are allowed a third sign on the end (side) wall.

**Wall Sign Area Requirements:**

The maximum sign area shall not exceed 1 ½ sq. ft. of sign area per one (1) linear foot of each store frontage. The combined maximum gross sign area for all wall, awning/canopy and permanent window signs per business shall not exceed 1 ½ square foot of sign area per one (1) linear foot of the unit frontage. In no event shall signage exceed a maximum height of 36" or be less than 24". Sign area shall not exceed 125 square feet. Signs shall be located at least 2 feet from either the center of the Tenant's demising walls or for end tenants the outside building corner of the façade. Refer to Sign Elevation drawings attached hereto.

**Location:**

Signage must be on the sign band area of the building above tenant space facing a public space (i.e. street or parking area). Refer to Sign Elevation drawings attached hereto.

**Height of Wall Signs Above Grade:**

Wall signs are not allowed to extend above parapet wall. Refer to Sign Elevation drawings attached hereto.

**Mounting:**

Letters are to be aluminum channel letters connected individually to a raceway. Raceways to be furnished and installed by the tenant's sign company. Raceways shall match the adjacent building

material color. The total sign projection from the building wall including raceways, if allowed, shall not exceed a maximum depth of twelve inches (12") from the building wall.

**Window Sign Requirements:**

Permanent window signs shall be placed on the interior face of the window and shall not exceed twenty-five percent (25%) of the total window area or 24 square feet, whichever is less. The total window area occupied by all permanent and temporary window signage shall not exceed fifty (50%) of the total window surface area.

**Outlot buildings:**

**Number of Signs:**

The number of signs is limited to four (4) wall signs per outlot building.

**Wall Sign Area Requirements:**

The combined maximum gross sign area for all wall, awning and permanent window signs shall not exceed 200 square feet or two (2) square foot of sign area per one (1) linear foot of the primary structure's façade facing a public roadway. No single sign shall not exceed 150 square feet. Sign height shall not exceed eight (8) feet.

**Location of Wall Signs:**

Signage must be facing a public space (i.e. street or parking area).

**Height of Wall Signs Above Grade:**

Wall signs are not allowed to extend above parapet wall.

**Mounting:**

Raceways are optional, provided however, if a raceway is used it shall match the adjacent building material color. The total sign projection from the building wall including raceways, if allowed, shall not exceed a maximum depth of twelve inches (12") from the building wall.

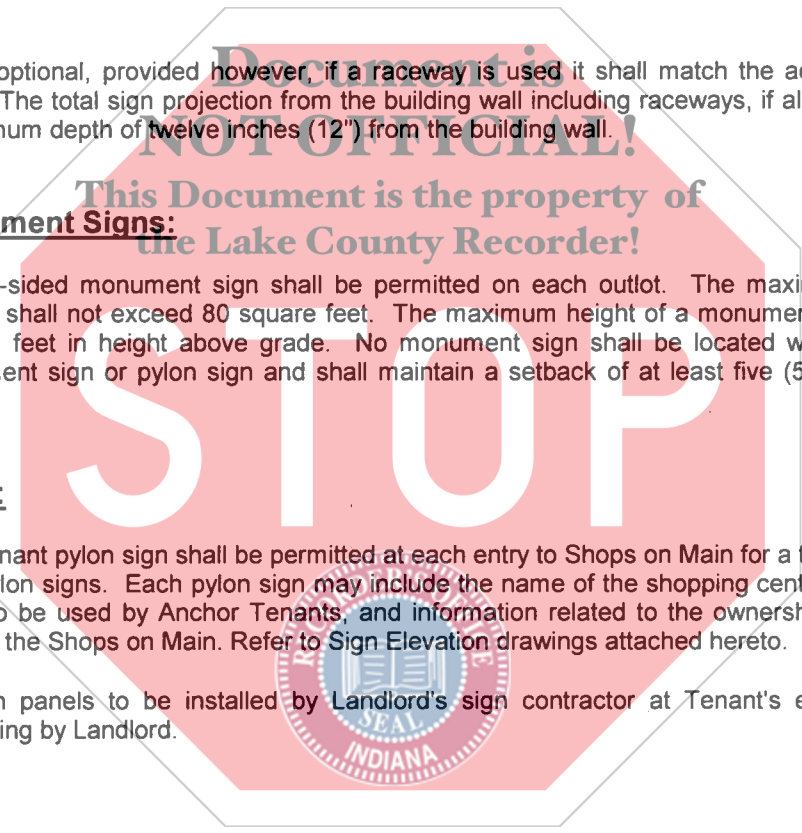
**Outlot Monument Signs:**

One (1) double-sided monument sign shall be permitted on each outlot. The maximum area of a monument sign shall not exceed 80 square feet. The maximum height of a monument sign shall not exceed four (4) feet in height above grade. No monument sign shall be located within 75 feet of another monument sign or pylon sign and shall maintain a setback of at least five (5) feet from any property line.

**Pylon Signs:**

One (1) multi-tenant pylon sign shall be permitted at each entry to Shops on Main for a total of three (3) double-sided pylon signs. Each pylon sign may include the name of the shopping center, up to six (6) tenant panels to be used by Anchor Tenants, and information related to the ownership, leasing and management of the Shops on Main. Refer to Sign Elevation drawings attached hereto.

All tenant pylon panels to be installed by Landlord's sign contractor at Tenant's expense unless approved in writing by Landlord.



**Ancillary Signs:**

**Store Hour Signs:**

The overall store hour signage may be a maximum of 14 inches high and 10 inches wide. Individual letters and numbers shall be a maximum of 1 inch high. Letters shall be vinyl applied or professionally painted to the inside face of the storefront glass. Store hours signage shall consist of one color only.

**Rear Door Identification:**

At tenant's rear service door, Tenant may apply tenant's name and address to the door if located as directed by Landlord and in three inch (3") standard block letters.

**Address:**

Address numbers shall be white vinyl in Arabic numerals four inches (4") high with a one inch (1") stroke, applied to the exterior face of the glass. Address shall be centered directly above Tenant door. The outline perimeter of all numbers shall be defined by the shape of the number; no background field shall be permitted.

**Interior Signs:**

Floor signs, Interior hanging signs, etc., primarily visible from outside the Tenant's space and not separated from the window by a customer way within the Tenant space, but within the Tenant's lease line in its storefront must receive prior landlord approval. Signs advertising the sale of alcohol shall be set back a minimum of 5'-0" from the storefront wall.

**Temporary Signs:**

Temporary Signs shall be allowed in compliance with the Town of Schererville Zoning Ordinance Sign Regulations TITLE XIX, Section 9, I. – Temporary Signs.

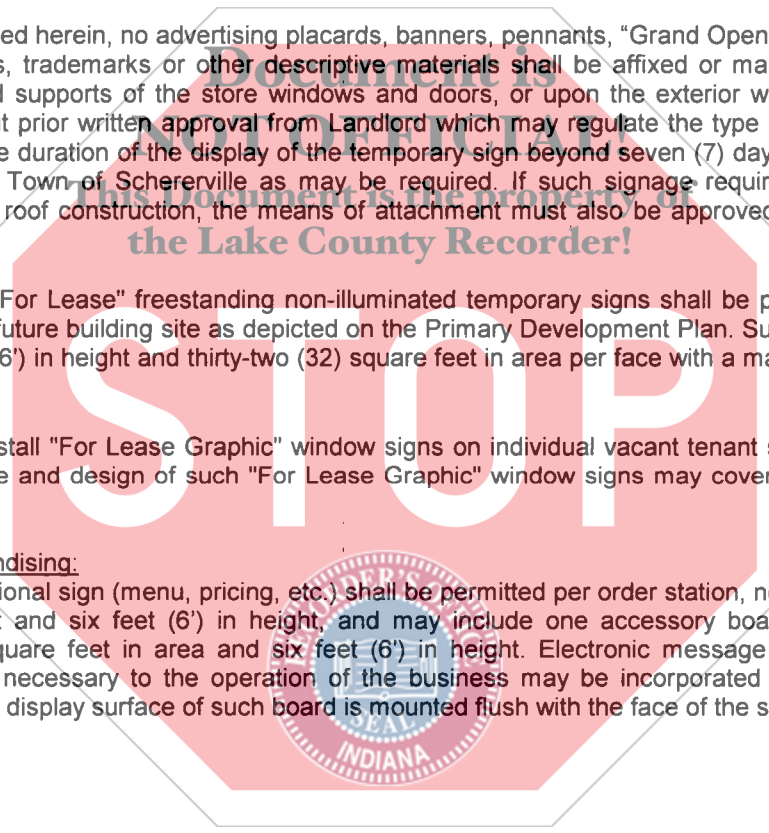
Except as provided herein, no advertising placards, banners, pennants, "Grand Opening", "Now Open", names, insignias, trademarks or other descriptive materials shall be affixed or maintained upon the glass panes and supports of the store windows and doors, or upon the exterior walls of building or storefront without prior written approval from Landlord which may regulate the type of temporary sign and authorize the duration of the display of the temporary sign beyond seven (7) days and obtaining a permit from the Town of Schererville as may be required. If such signage requires attachment to exterior walls or roof construction, the means of attachment must also be approved in writing by the Landlord.

"For Sale" and "For Lease" freestanding non-illuminated temporary signs shall be permitted on each outlot and each future building site as depicted on the Primary Development Plan. Such signs shall not exceed six feet (6') in height and thirty-two (32) square feet in area per face with a maximum of two (2) faces.

Landlord may install "For Lease Graphic" window signs on individual vacant tenant spaces. The size, window coverage and design of such "For Lease Graphic" window signs may cover the total window surface area.

**Drive-In Merchandising:**

One (1) informational sign (menu, pricing, etc.) shall be permitted per order station, not to exceed thirty (30) square feet and six feet (6') in height, and may include one accessory board not to exceed eighteen (18) square feet in area and six feet (6') in height. Electronic message boards that only display material necessary to the operation of the business may be incorporated within such sign, provided that the display surface of such board is mounted flush with the face of the sign as a whole.



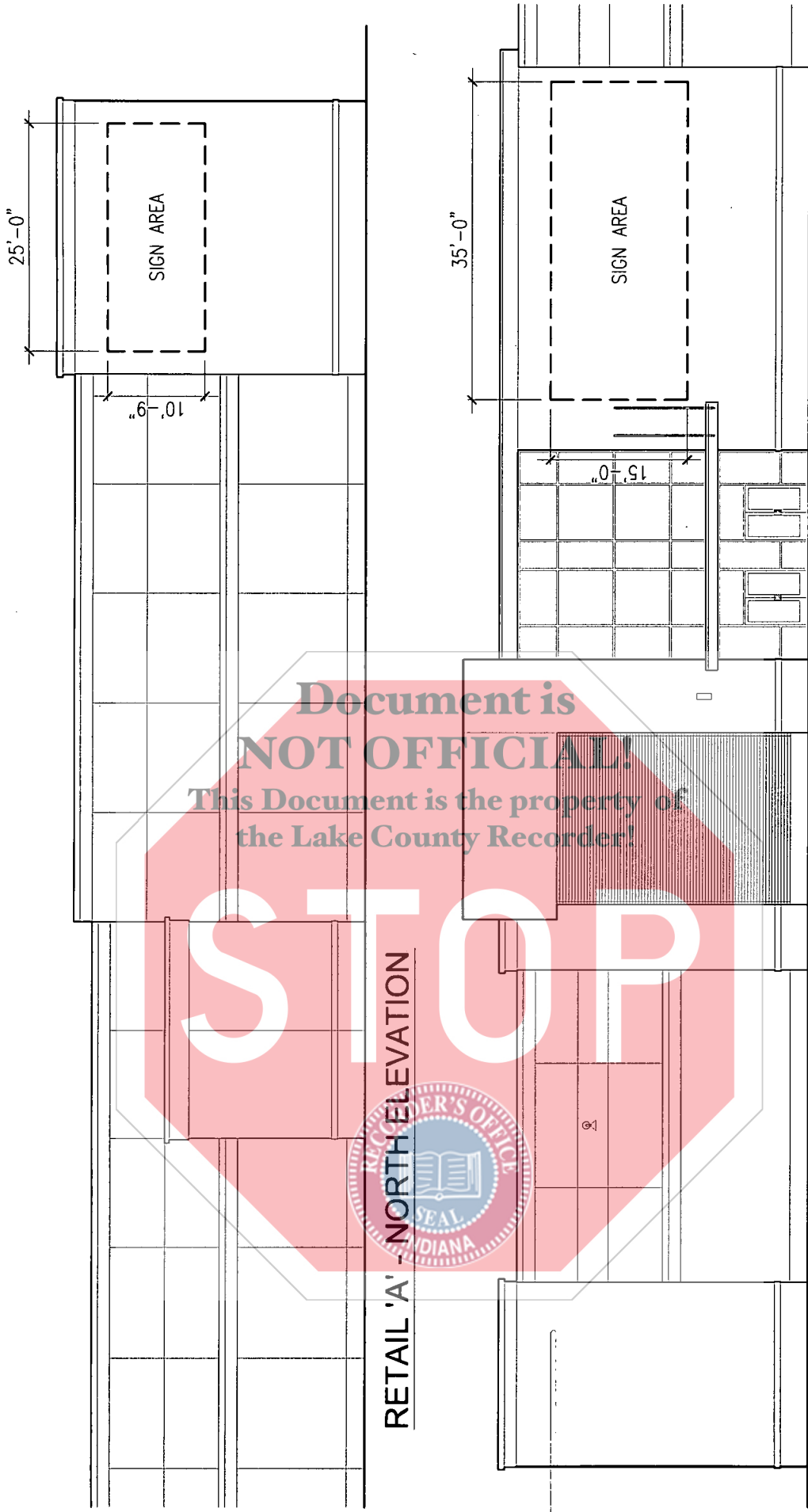
**Prohibited Signs:**

- Neon tube lighting in windows
- Inflatable signs
- Exposed neon signs
- Moving signs
- Blinking or flashing signs.
- Signs that emit smells or sounds.
- Box signs.
- Changeable copy or programmable message signs.
- Sandwich board or easel signs.
- Right of way or common area advertising signs or feather banners.
- No Tenant shall maintain any sign not located on their leased premise unless specifically approved in writing by Landlord and, if applicable, the Town of Schererville.

**Sign Approval:**

Approval of Landlord and the Town of Schererville shall be required prior to the installation of any sign. Approval of the Tenant sign shop drawing and its design by the Landlord does not constitute approval by the Town of Schererville. To obtain Landlord's approval, Tenant shall submit one (1) set of bound shop drawings for review and approval by the Landlord. Sign shop drawings shall clearly indicate: 1) the location and size of all signs on the façade (minimum scale 1/8"=1'-0" size); 2) provide a section or sections through the sign; 3) identify the materials and construction; 4) provide complete information on installation; 5) provide the location and size of all penetrations for conduit sleeves and supports; and 6) shall indicate all construction and attachments. Fabrication or installation of the Tenant's signage shall not commence before obtaining the landlord's approval for the sign shop drawings. Upon receipt of Landlord's approval, the tenant or tenant's sign company shall make application for and obtain sign and electrical permits as may be required by the Town of Schererville prior to installation of any sign.



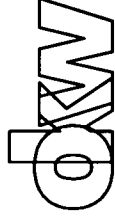


RETAIL 'A' - NORTH ELEVATION

RETAIL 'A' - WEST ELEVATION

SHOPS ON MAIN - MAIN SIGN AREA

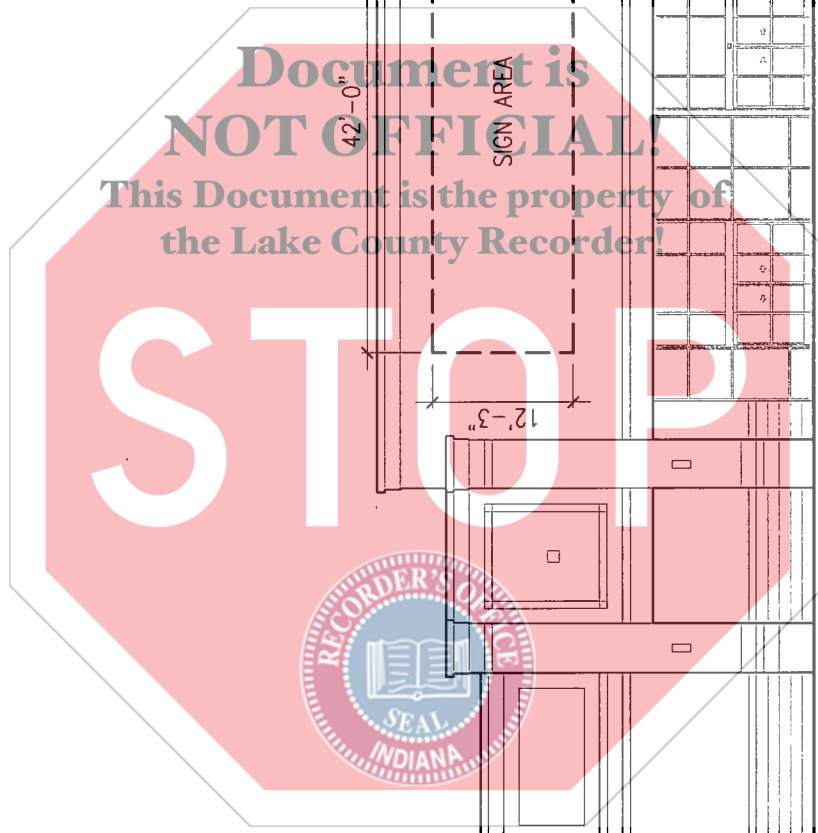
SCHERERVILLE, INDIANA



OKW Architects

DATE: JANUARY 18, 2013

PROJECT NUMBER: 11041



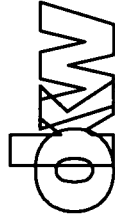
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RETAIL 'B'

SHOPS ON MAIN - MAIN SIGN AREA

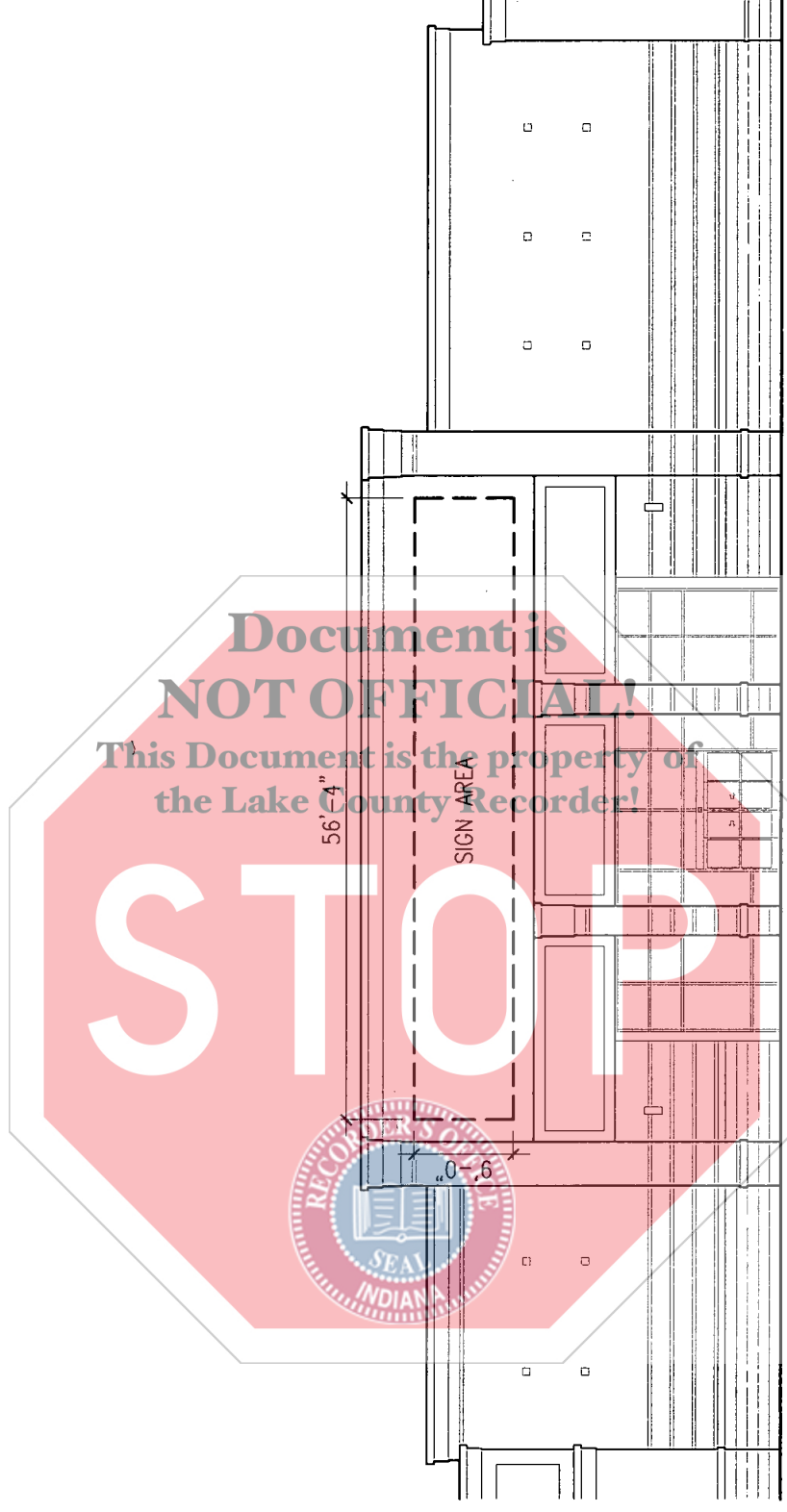
SCHERERVILLE, INDIANA



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DATE: JANUARY 18, 2013

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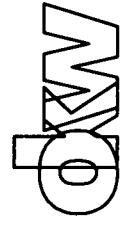
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RETAIL 'C'

SHOPS ON MAIN - MAIN SIGN AREA

SCHERERVILLE, INDIANA

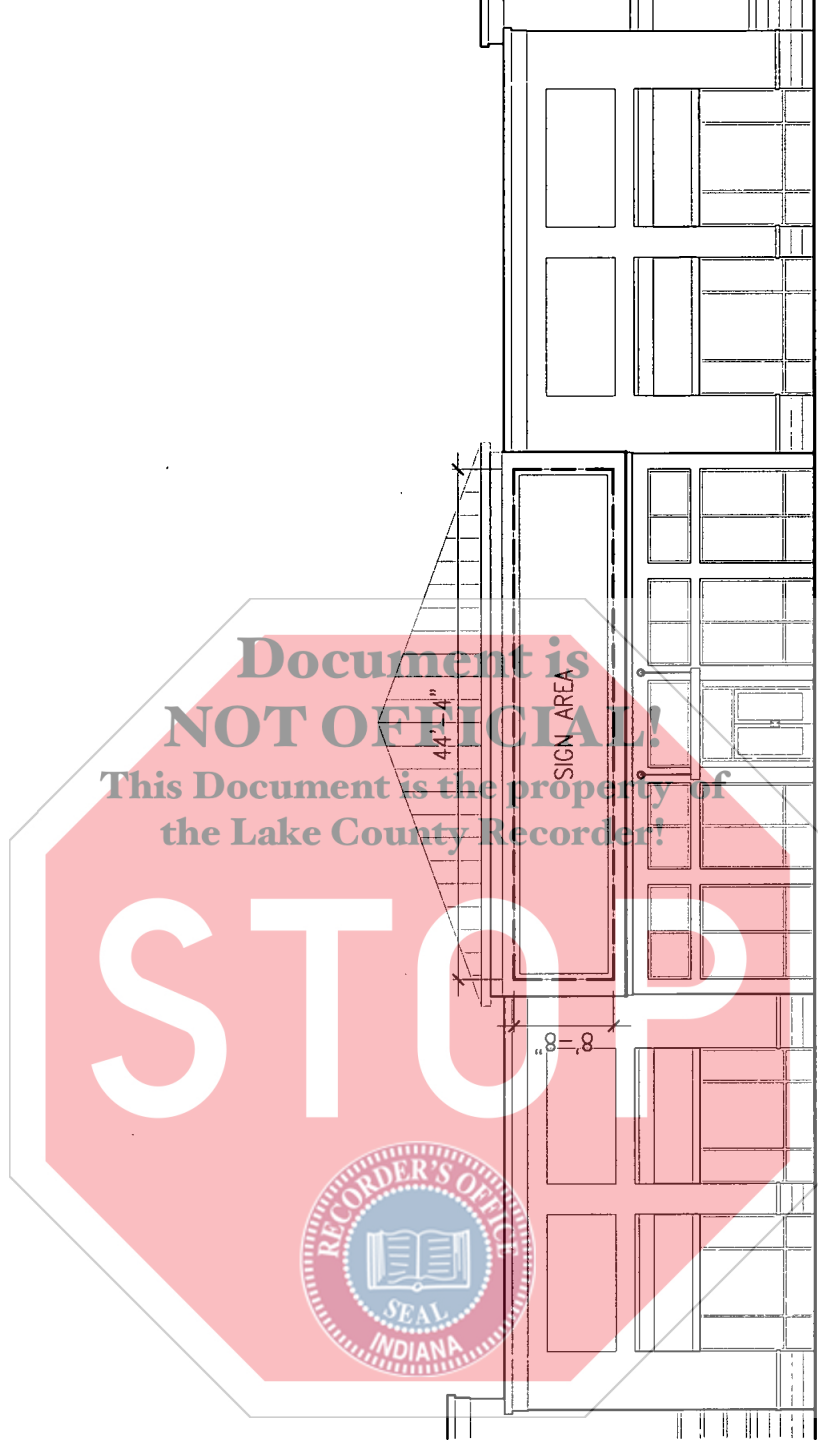


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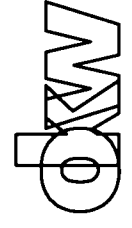




RETAIL 'D'

SHOPS ON MAIN - MAIN SIGN AREA

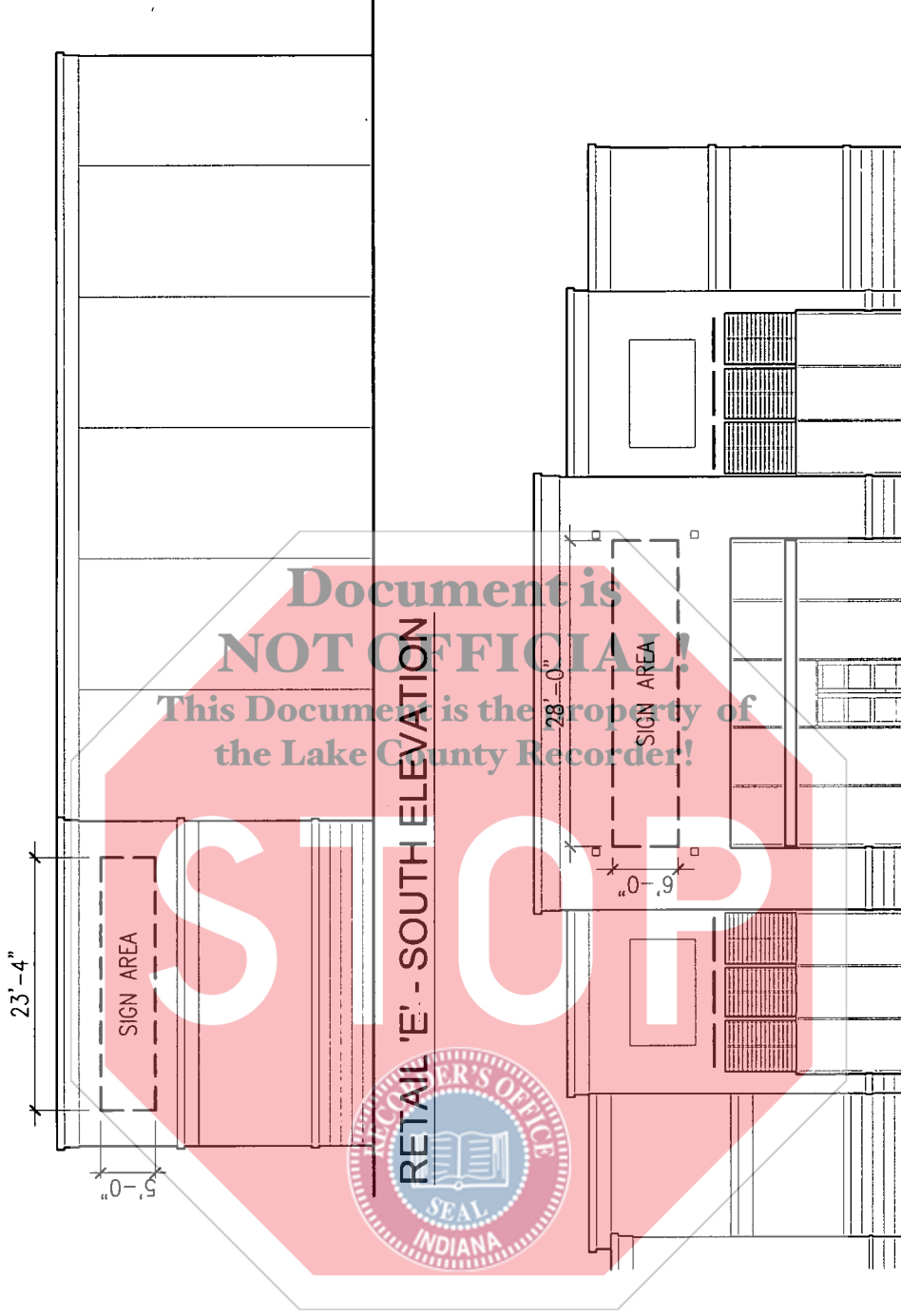
SCHERERVILLE, INDIANA



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DATE: JANUARY 18, 2013

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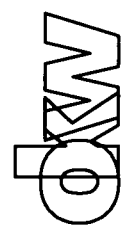


RETAIL 'E' - SOUTH ELEVATION

RETAIL 'E' - WEST ELEVATION

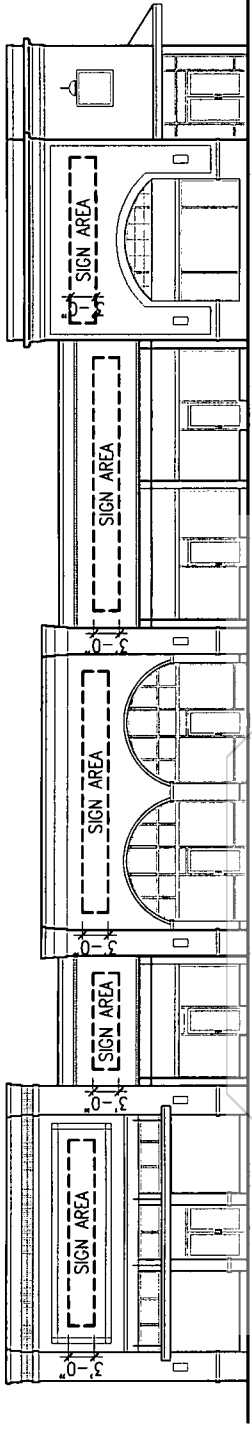
SHOPS ON MAIN - MAIN SIGN AREA

SCHERERVILLE, INDIANA

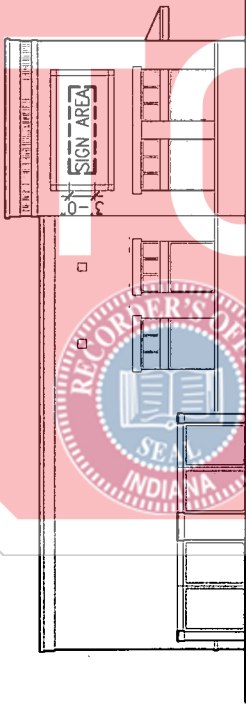


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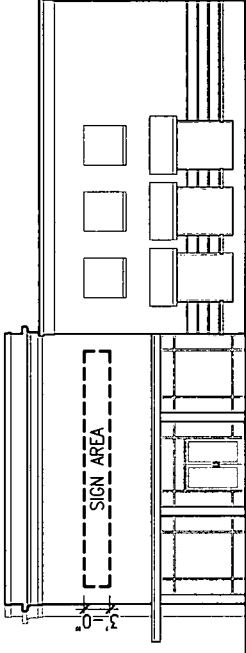
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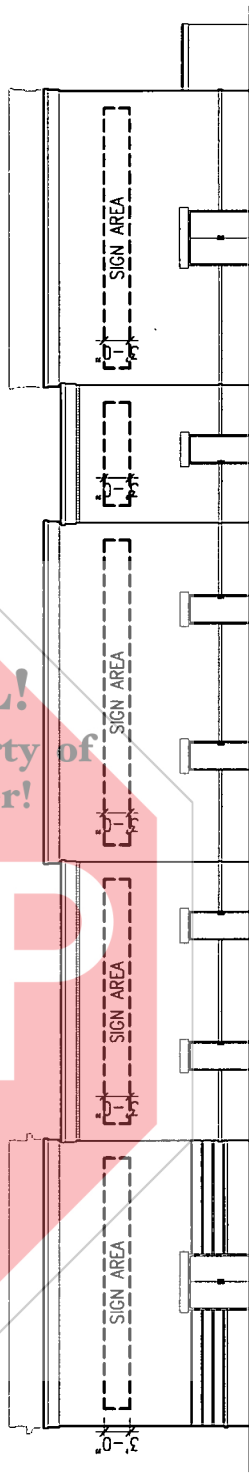
**SHOPS 'G' - NORTH ELEVATION**



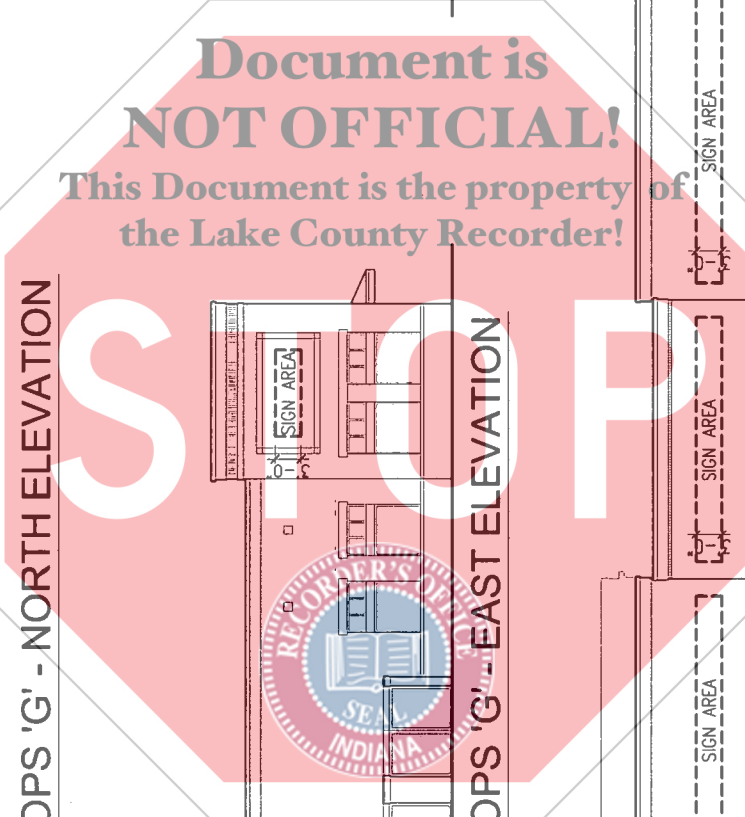
**SHOPS 'G' - EAST ELEVATION**



**SHOPS 'G' - WEST ELEVATION**



**SHOPS 'G' - SOUTH ELEVATION**



**SHOPS ON MAIN - MAIN SIGN AREA**

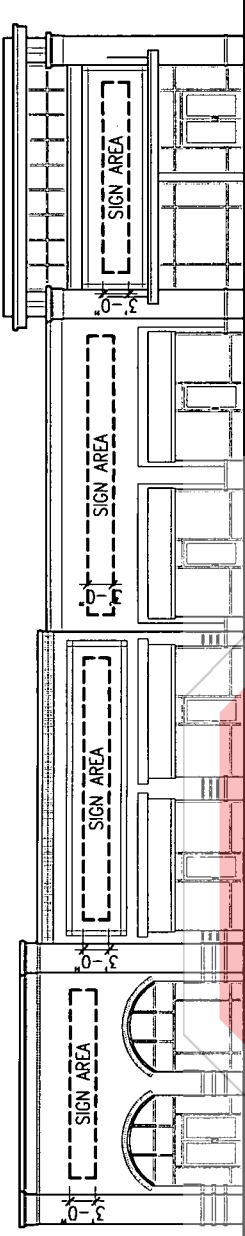
**SCHERERVILLE, INDIANA**



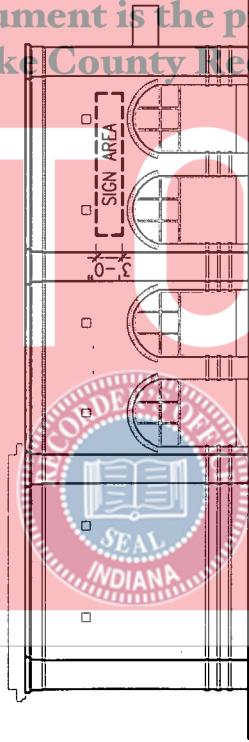
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DATE: JANUARY 18, 2013

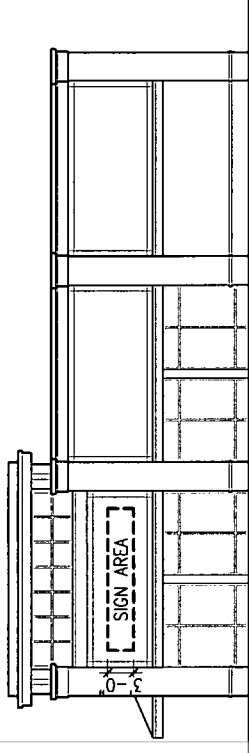
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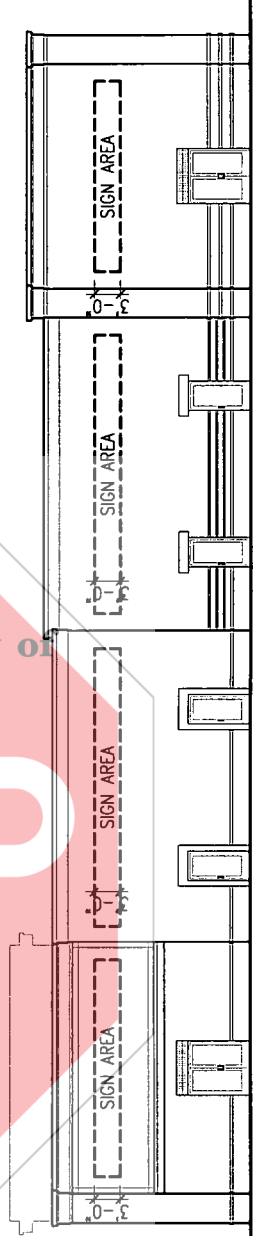
SHOPS 'I' - WEST ELEVATION



SHOPS 'I' - NORTH ELEVATION



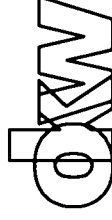
SHOPS 'I' - SOUTH ELEVATION



SHOPS 'I' - EAST ELEVATION

SHOPS ON MAIN - MAIN SIGN AREA

SCHERERVILLE, INDIANA

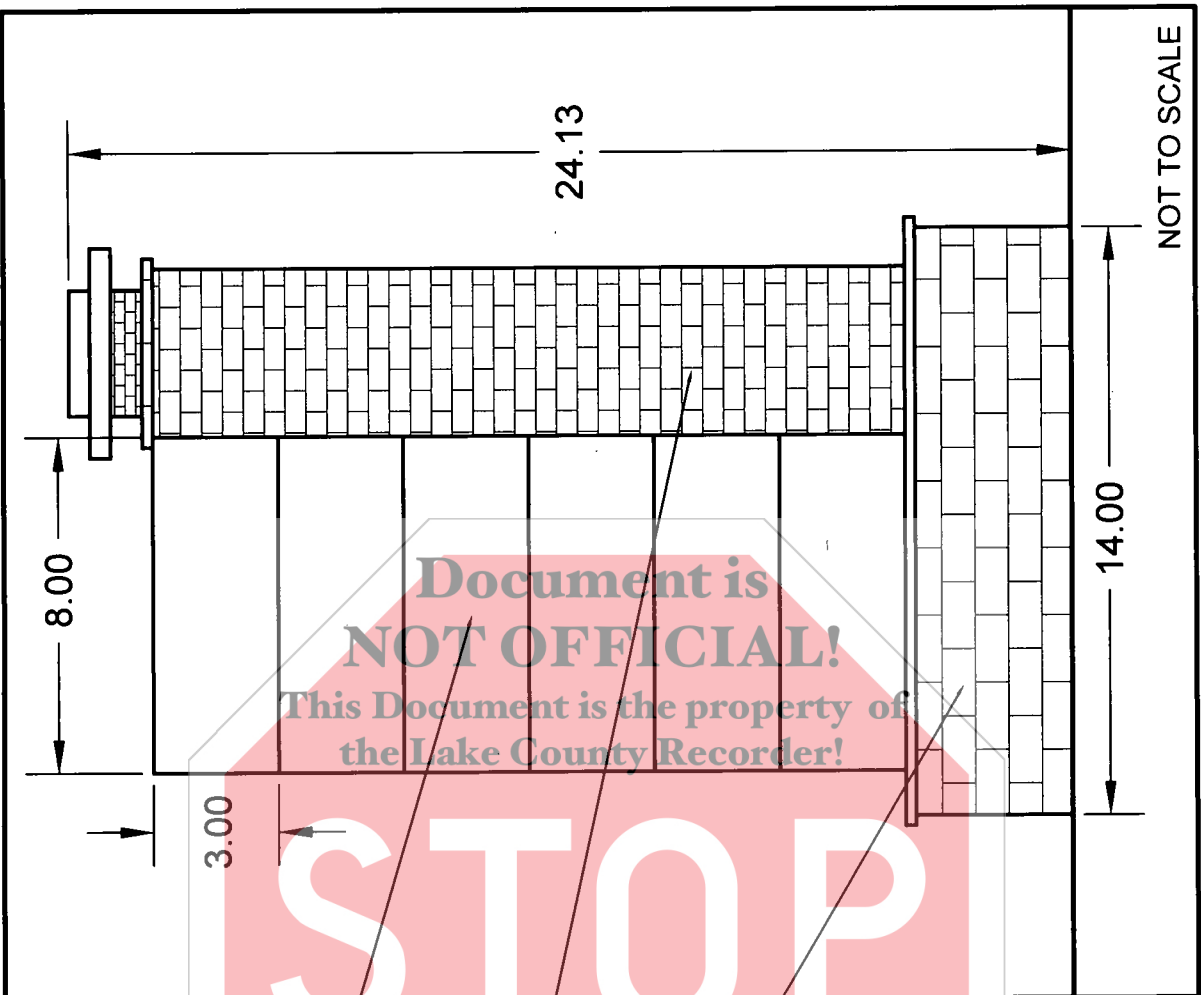


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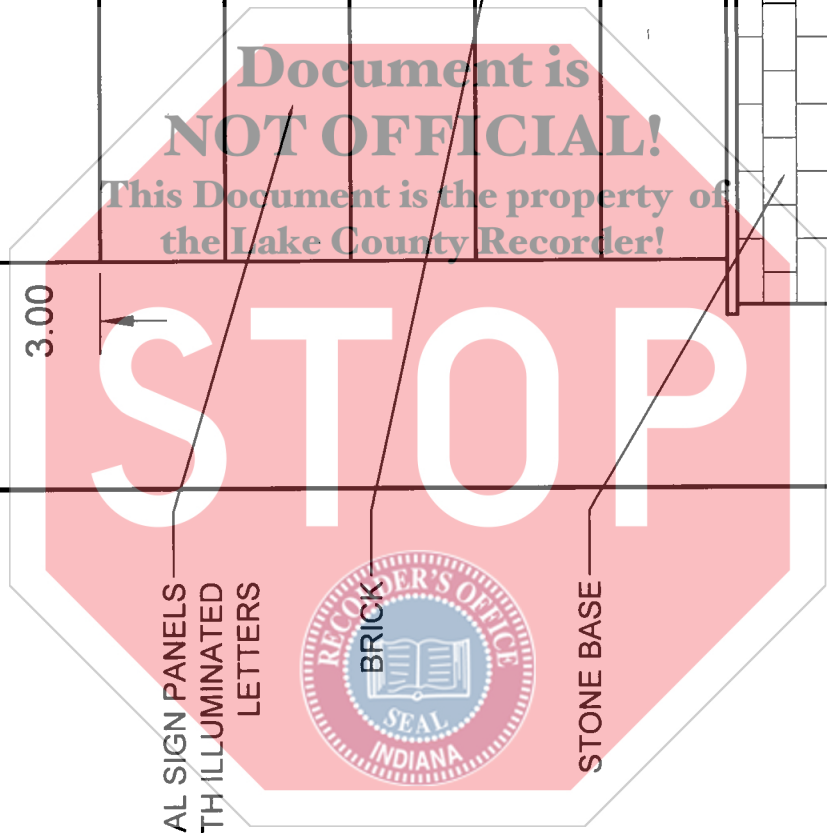
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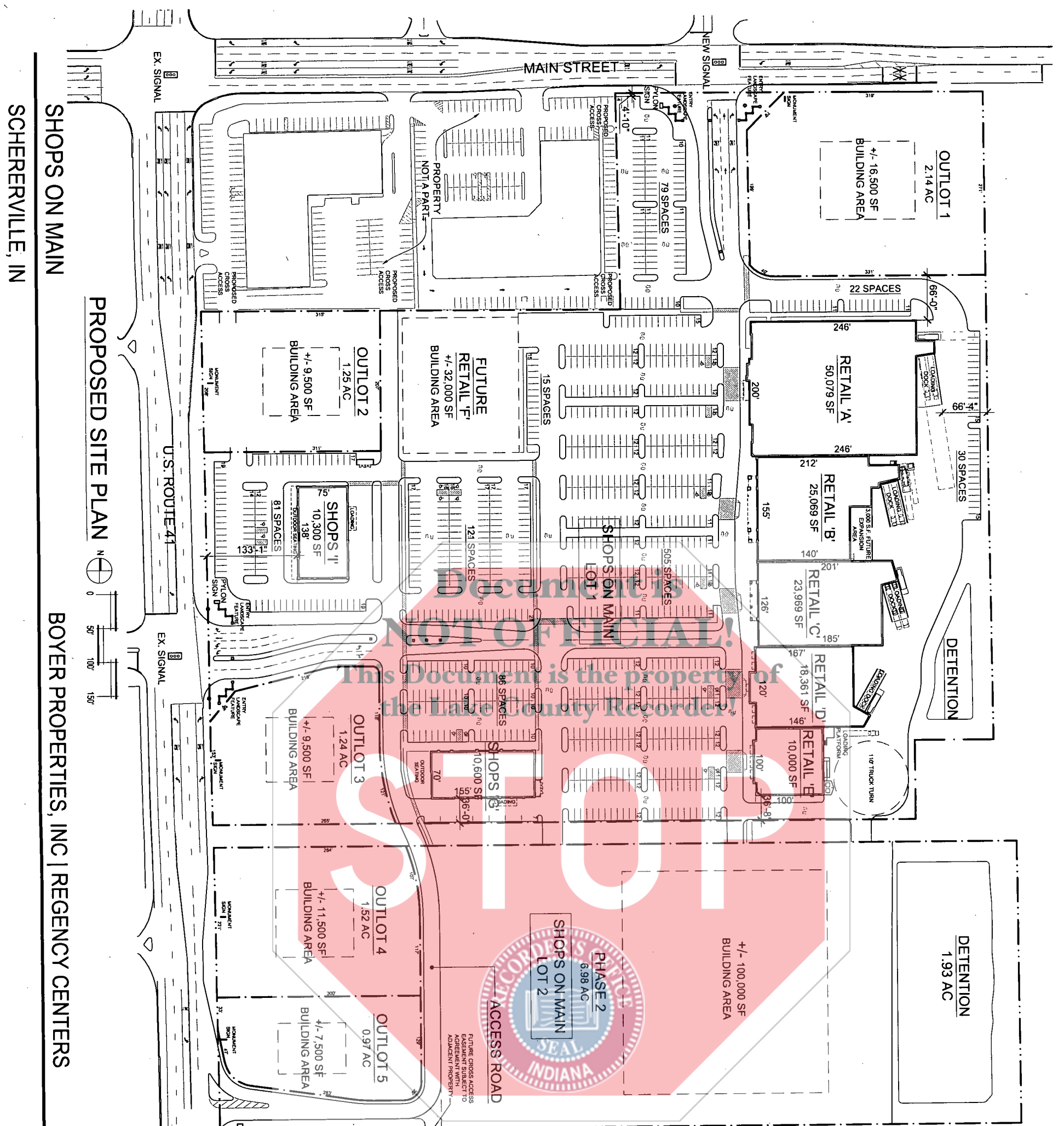
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TENANT SIGN FACE

METAL SIGN PANELS  
WITH ILLUMINATED  
LETTERS

STONE BASE



SHOPS ON MAIN  
SCHERERVILLE, IN

PROPOSED SITE PLAN

BOYER PROPERTIES, INC | REGENCY CENTERS

**DEVELOPMENT SUMMARY**  
 UNDERLYING ZONING: C-3 HIGHWAY COMMERCIAL WITH US 41 OVERLAY

**SITE AREA - OVERALL:**  
 LOT 1: 23.79 ACRES  
 LOT 2: 11.40 ACRES  
 TOTAL SITE AREA: 35.19 ACRES

**GROSS LEASABLE AREA - LOT 1**  
 RETAIL 'A': 50,079 S.F.  
 RETAIL 'B': 25,069 S.F.  
 RETAIL 'B' FUTURE EXPANSION: 3,000 S.F.  
 RETAIL 'C': 23,969 S.F.  
 RETAIL 'D': 18,361 S.F.  
 RETAIL 'E': 10,000 S.F.  
 FUTURE RETAIL 'F': 32,000 S.F.  
 SHOPS 'G': 10,600 S.F.  
 SHOPS 'H': 10,300 S.F.  
 TOTAL G.L.A.: 183,378 S.F.

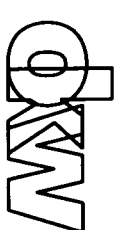
**OUTLOT SITE AREA - LOT 1**  
 OUTLOT 1: 2.14 ACRES  
 OUTLOT 2: 1.25 ACRES  
 OUTLOT 3: 1.24 ACRES  
 TOTAL SITE AREA: 4.63 ACRES

**SITE AREA - LOT 2:**  
 OUTLOT 4: 1.52 ACRES  
 OUTLOT 5: 0.97 ACRES  
 PHASE 2: 6.98 ACRES  
 PHASE 2: 1.93 ACRES  
 DETENTION: 1.93 ACRES  
 TOTAL SITE AREA: 11.40 ACRES

**NOTE:** WHEN THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN ARE IN CONFLICT WITH THE SCHERERVILLE ZONING ORDINANCE, THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN SHALL CONTROL.

**DEVELOPMENT STANDARDS:**  
 THE REAL ESTATE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE PROPOSED SITE PLAN, THE OTHER PLANS INCLUDED IN THE PRIMARY DEVELOPMENT PLAN, AND THE FOLLOWING TEXTUAL NOTES.

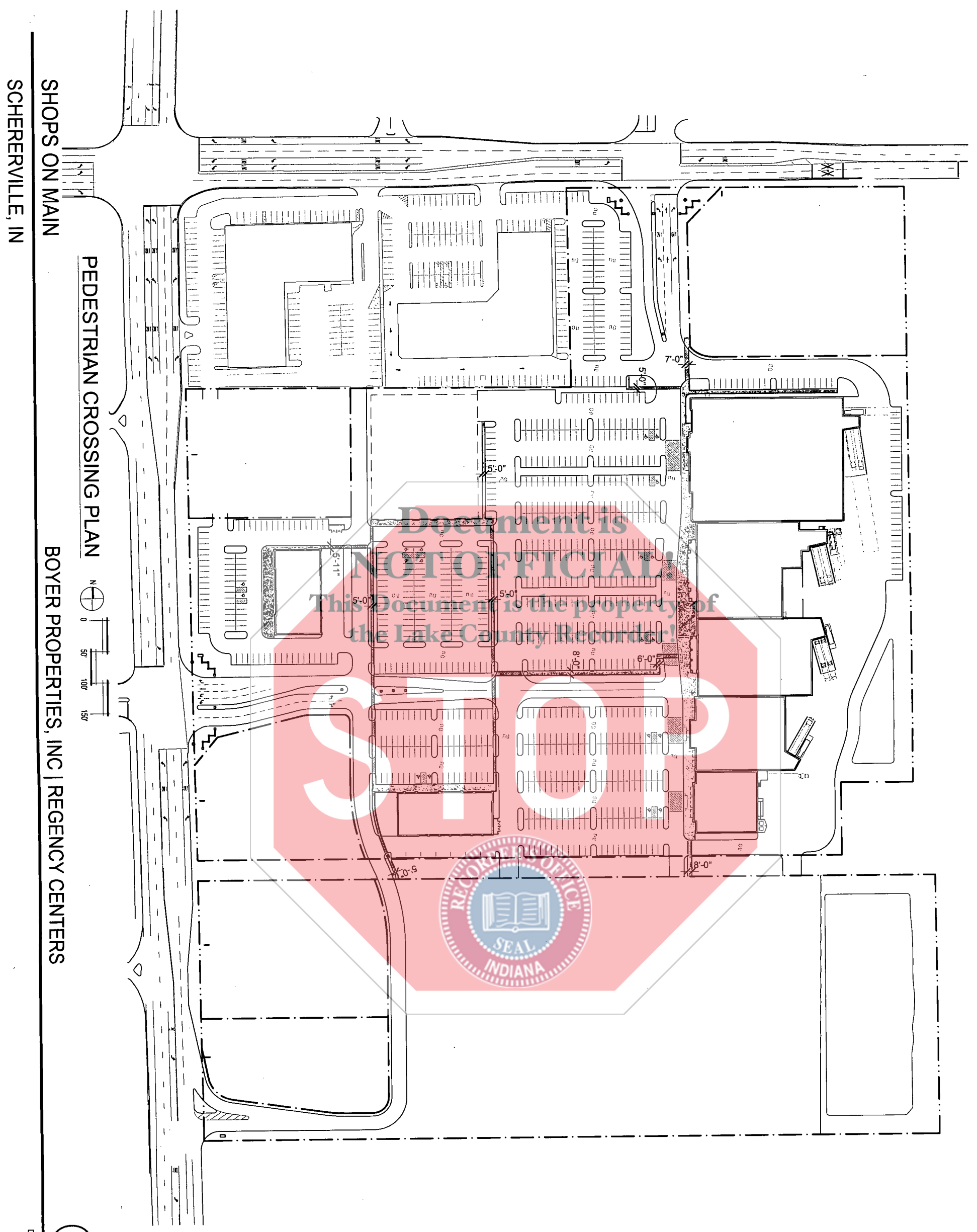
- TRASH ENCLOSURES FOR RETAIL A-E AND PHASE 2 BUILDINGS WILL BE LOCATED IN THE REAR LOADING AREAS. ALL OTHER TRASH ENCLOSURES SHALL BE MASONRY TO MATCH THE ADJACENT BUILDING AND MAY ABOUT THE SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.
- ENTRY DRIVE AND PARKING LOT LANDSCAPING SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.
- A MINIMUM OF A 10' LANDSCAPE SETBACK ALONG R.O.W. SHALL BE PROVIDED EXCEPT AS INDICATED ON THE PLAN.
- PARKING LAYOUT AND LANDSCAPE ISLANDS SHALL BE AS SHOWN. PARKING MAY BE LOCATED IN ANY YARD.
- MINIMUM FRONT YARD BUILDING SETBACK SHALL BE 60' FROM THE R.O.W. THERE SHALL BE NO MAXIMUM FRONT YARD SETBACK.
- MINIMUM F.A.R. SHALL BE 0.1
- PARKING SHALL MAINTAIN A MIN. RATIO OF 4 SPACES PER 1,000 SQUARE FEET OF GROSS LEASABLE AREA FOR ALL USES, INCLUSIVE OF ALL OUTLOTS AND FUTURE DEVELOPMENT. ALL FUTURE DEVELOPMENT, ALL PARKING AREAS, WHETHER ON A MAIN LOT OR AN OUTLOT, SHALL BE CONSIDERED SHARED PARKING AVAILABLE TO ALL USES WITHIN SHOPS ON MAIN.
- TYPICAL PARKING STALLS SHALL BE 9 FEET WIDE BY 18 FEET DEEP.
- BUILDING AREAS INDICATED ON FUTURE RETAIL 'F', PHASE 2 AND OUTLOTS ARE FOR ILLUSTRATIVE PURPOSES ONLY, AND DO NOT NECESSARILY REPRESENT BUILDING OUTLINES OR LOCATIONS.
- BUILDING AREAS INDICATED ON OUTLOTS ARE BASED ON A RATIO OF 7,500 SQUARE FEET PER ACRE.
- MIN. OUTLOT BUILDING AREA SHALL NOT BE LESS THAN 2,000 SQUARE FEET.
- OUTLOTS AND FUTURE BUILDINGS SHALL BE DEVELOPED IN GENERAL COMPLIANCE WITH THESE BUILDING STANDARDS.



OKW Architects

DATE: JANUARY 30, 2013

PROJECT NUMBER: 11041



SHOPS ON MAIN  
SCHERERVILLE, IN

PEDESTRIAN CROSSING PLAN



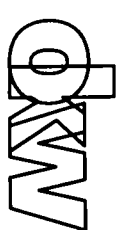
BOYER PROPERTIES, INC | REGENCY CENTERS

**DEVELOPMENT STANDARDS:**  
THE REAL ESTATE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE PROPOSED SITE PLAN. THE OTHER PLANS INCLUDED IN THE PRIMARY DEVELOPMENT PLAN, AND THE FOLLOWING TEXTUAL NOTES.

1. PEDESTRIAN WAYS SHALL BE AS SHOWN ON THE PEDESTRIAN CROSSING PLAN. THERE SHALL BE NO PEDESTRIAN WAY CONNECTIONS TO MAIN STREET OR U.S. 41.
2. MINIMUM PEDESTRIAN WAY WIDTHS SHALL BE AS SHOWN ON THE PEDESTRIAN CROSSING PLAN.

**NOTE:**  
WHEN THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN ARE IN CONFLICT WITH THE SCHERERVILLE ZONING ORDINANCE, THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN SHALL CONTROL.

**LEGEND:**  
PEDESTRIAN CROSSING ROUTE



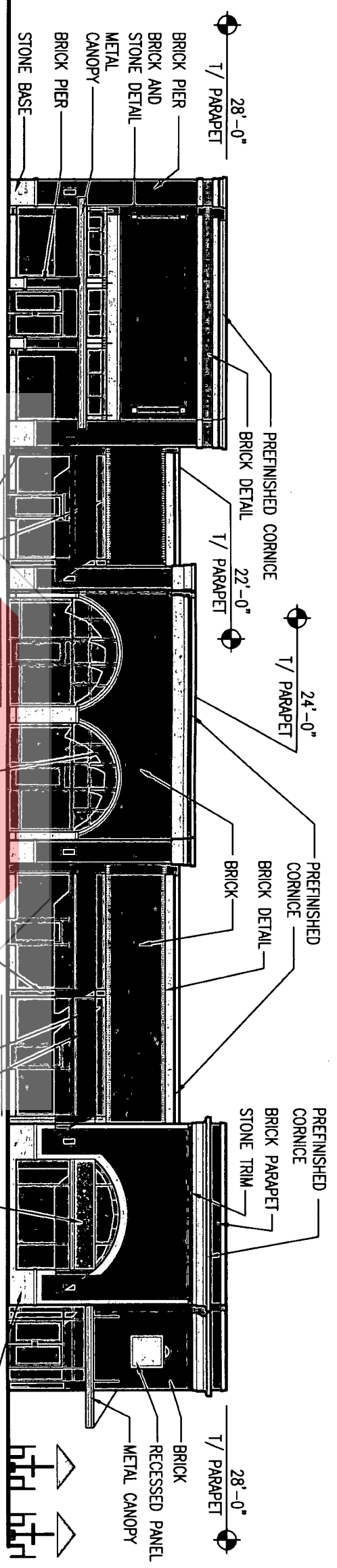
OKW Architects

DATE: JANUARY 30, 2013

PROJECT NUMBER: 11041





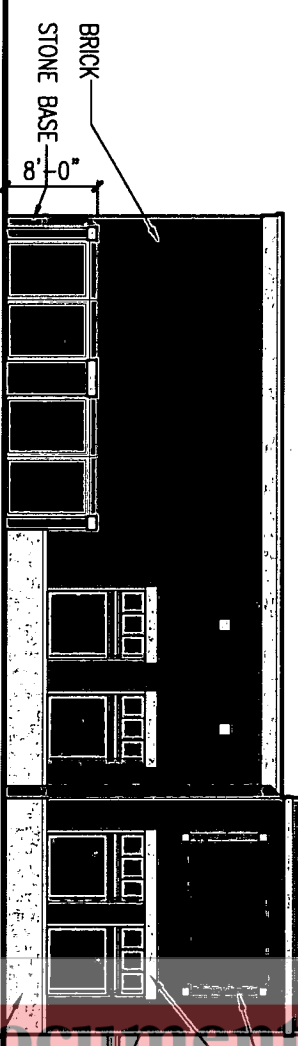


**NORTH ELEVATION**  
SCALE: 1/16"=1'

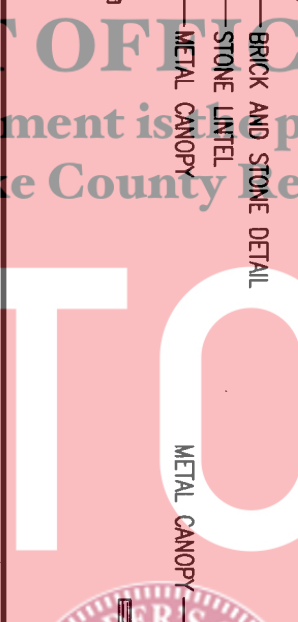
**DEVELOPMENT STANDARDS:**  
THE REAL ESTATE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE PROPOSED SITE PLAN, THE OTHER PLANS INCLUDED IN THE PRIMARY DEVELOPMENT PLAN AND THE FOLLOWING TEXTUAL NOTES.

1. BUILDING HEIGHT SHALL BE AS SHOWN.
2. PRECAST PANELS SHALL BE AN ALLOWED MATERIAL ON THE REAR AND SIDES FACADES OF RETAIL A-E AND THE RETAIL BUILDING(S) ON PHASE 2.
3. BUILDING ENTRANCES SHALL BE AS DEPICTED.
4. BUILDING ENTRANCES SHALL BE PROVIDED AT A MINIMUM RATE OF 1 PER 250 FEET OF BUILDING FRONTAGE WIDTH FOR THE RETAIL BUILDING(S) ON PHASE 2 AND FUTURE BUILDING "F".
5. FUTURE RETAIL "F", FUTURE OUTLOT BUILDINGS, AND RETAIL BUILDING(S) ON PHASE 2 MAY BE ONE STORY WITH A MINIMUM HEIGHT OF 18 FEET.

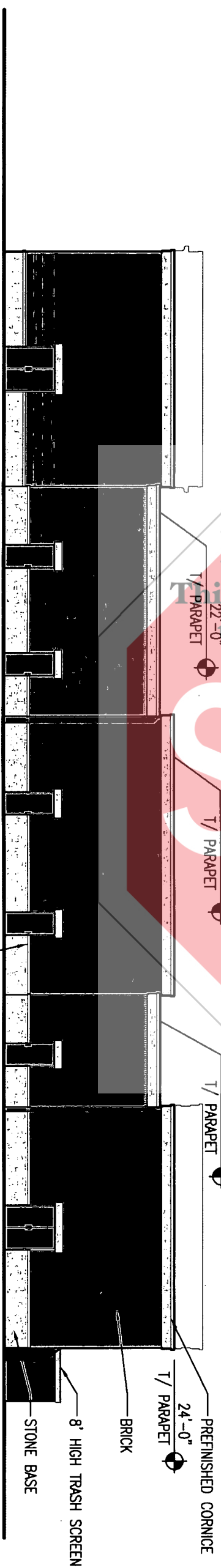
**NOTE:**  
WHEN THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN ARE IN CONFLICT WITH THE SCHERERVILLE ZONING ORDINANCE, THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN SHALL CONTROL.



**EAST ELEVATION**  
SCALE: 1/16"=1'



**WEST ELEVATION**  
SCALE: 1/16"=1'



**SOUTH ELEVATION**  
SCALE: 1/16"=1'

SHOPS "G" OUTLOT  
SHOPS ON MAIN  
SCHERERVILLE, IN

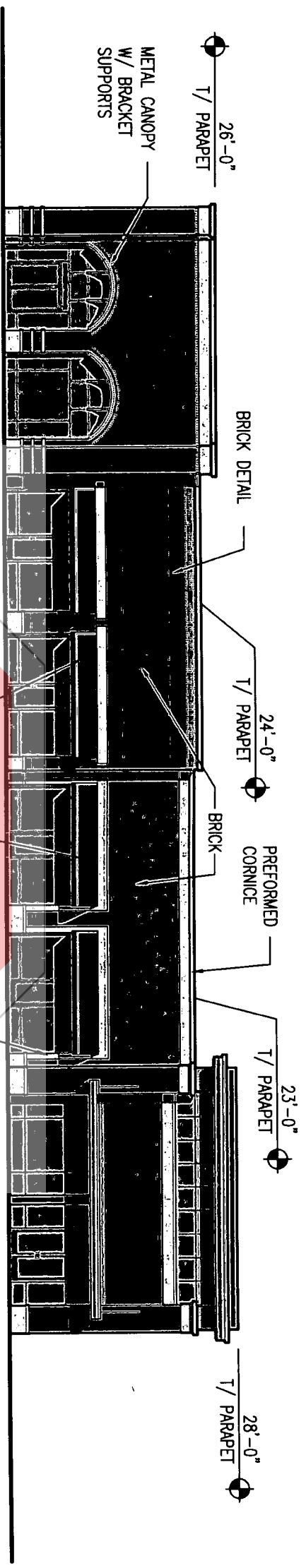
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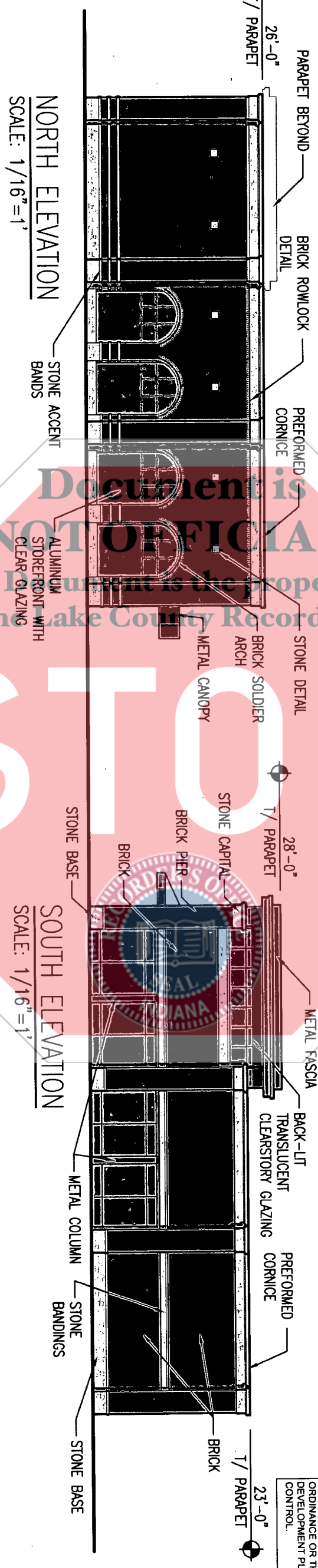
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PROJECT NUMBER: 11041



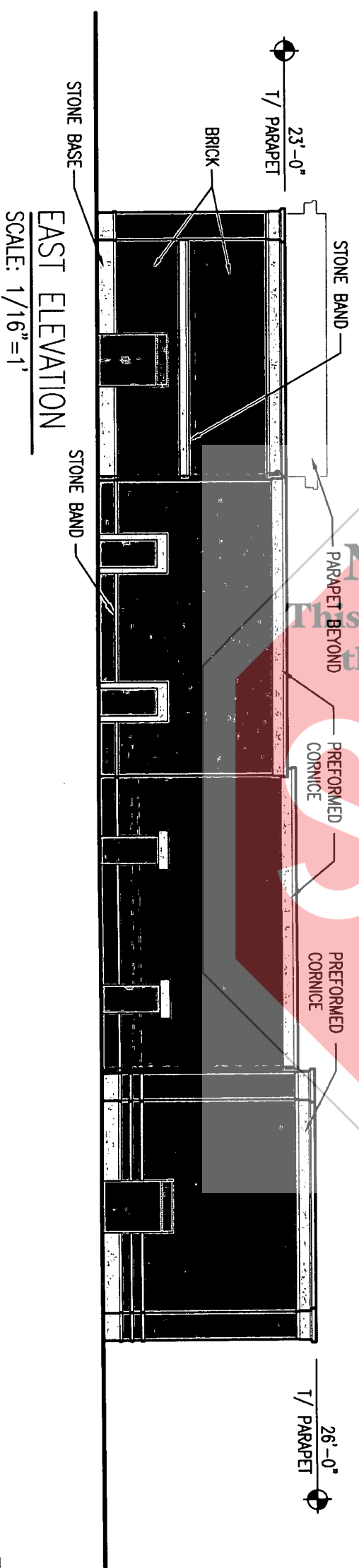
WEST ELEVATION  
SCALE: 1/16"=1'

- DEVELOPMENT STANDARDS:  
THE REAL ESTATE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE PROPOSED SITE PLAN, THE OTHER PLANS INCLUDED IN THE PRIMARY DEVELOPMENT PLAN, AND THE FOLLOWING TEXTUAL NOTES.
1. BUILDING HEIGHT SHALL BE AS SHOWN.
  2. PRECAST PANELS SHALL BE AN ALLOWED MATERIAL ON THE REAR AND SIDES FACADES OF RETAIL (A-E AND THE RETAIL BUILDINGS) ON PHASE 2.
  3. BUILDING ENTRANCES SHALL BE AS DEPICTED.
  4. BUILDING ENTRANCES SHALL BE PROVIDED AT A MINIMUM RATE OF 1 PER 250 FEET OF BUILDING FRONTAGE WIDTH FOR THE RETAIL BUILDING(S) ON PHASE 2 AND FUTURE BUILDING F.
  5. FUTURE RETAIL F. FUTURE OUTLOT BUILDINGS, AND RETAIL BUILDING(S) ON PHASE 2 MAY BE ONE STORY WITH A MINIMUM HEIGHT OF 18 FEET.
- NOTE:  
WHEN THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN ARE IN CONFLICT WITH THE SCHERERVILLE ZONING ORDINANCE, THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS SET FORTH IN THE PUD ORDINANCE OR THE PRIMARY DEVELOPMENT PLAN SHALL CONTROL.



NORTH ELEVATION  
SCALE: 1/16"=1'

SOUTH ELEVATION  
SCALE: 1/16"=1'



EAST ELEVATION  
SCALE: 1/16"=1'

SHOPS "1" OUTLOT  
SHOPS ON MAIN  
SCHERERVILLE, IN

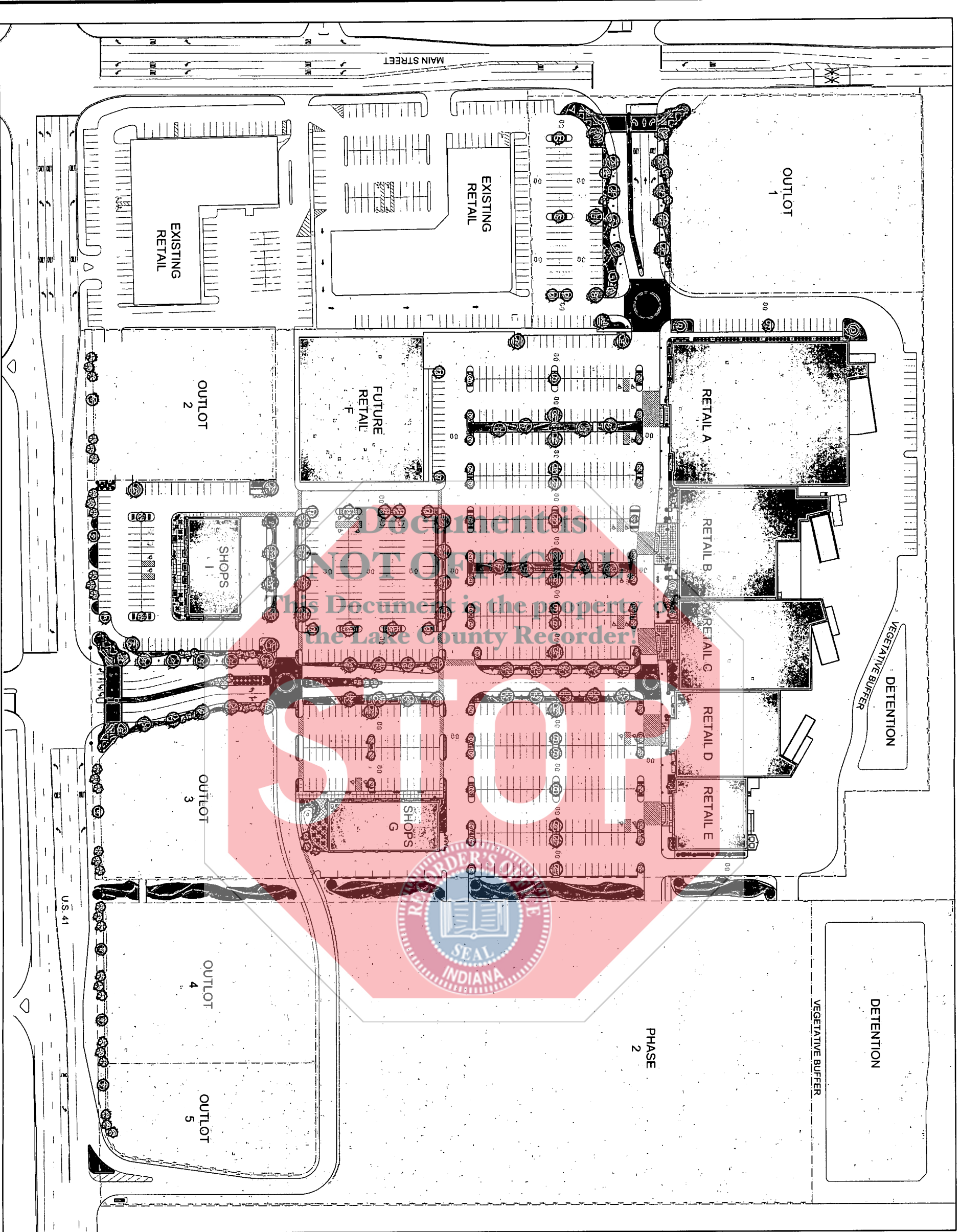
BOYER PROPERTIES, INC | REGENCY CENTERS



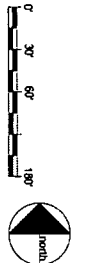
OKW Architects

DATE: JANUARY 24, 2012

PROJECT NUMBER: 11041



- DEVELOPMENT STANDARDS**
- THE REAL ESTATE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE PROPOSED SITE PLAN. THE OTHER PLANS INCLUDED IN THE PRIMARY DEVELOPMENT PLAN, AND THE FOLLOWING TEXTUAL NOTES, SHALL APPLY.
1. OUTLOTS AND ASSOCIATED PARKING AREAS SHALL BE LANDSCAPED IN A MANNER CONSISTENT AND COMPATIBLE AS THAT SHOWN AROUND SHOPS 1.
  2. PHASE 2 BUILDINGS AND ASSOCIATED PARKING AREAS SHALL BE LANDSCAPED IN A MANNER CONSISTENT AND COMPATIBLE AS THAT AROUND RETAIL A-E.
  3. TRASH ENCLOSURES FOR RETAIL A-E AND PHASE 2 BUILDINGS WILL BE LOCATED IN THE REAR LOADING AREAS. ALL OTHER TRASH ENCLOSURES SHALL BE MASONRY TO MATCH THE ADJACENT BUILDING. VEGETATIVE SCREENING SHALL BE AS SHOWN ON THE LANDSCAPE PLAN.
  4. THE MINIMUM PLANTED AREA PROVIDED ALONG THE ENTRY DRIVES AND ALONG THE PERIMETER OF PARKING LOTS SHALL BE A MINIMUM OF 3', BUT WITH AN AVERAGE OF MORE THAN 5' WIDE.
  5. HIGH VOLUME AND OUTDOOR ACTIVITY AREAS AROUND PORTIONS OF THE RETAIL BUILDINGS SHALL HAVE SIDEWALKS IN LIEU OF MINIMUM PLANTING SPACE.
  6. DETENTION AREAS THAT ARE LOCATED TO THE REAR OF THE PROPERTY SHALL BE PLANTED WITH A NATIVE SEED MIXTURE CONDUCTIVE TO THE HYDRAULIC CONDITIONS AND ARE PART OF THE DEVELOPMENT GREENSPACE AREA.
  7. PLANTING ALONG THE EAST SIDE OF THE PROPERTY SHALL BE MINIMAL AND AS SHOWN ON THE LANDSCAPE PLANS DUE TO THE ADJACENT ELEVATED RAILROAD BED.
  8. PLANTINGS AT THE PERIMETER OF THE PROPERTY ALONG HWY 41 SHALL BE AS SHOWN ON THE LANDSCAPE PLANS.
  9. ALL LANDSCAPE AREAS THAT ARE NOT INDICATING PLANT MATERIAL OR MULCH MAY BE GRASS.
  10. PUBLIC SPACE SHALL BE AS SHOWN ON THE LANDSCAPE PLAN. PUBLIC SPACE FOR PHASE 2 AND OUTLOTS SHALL BE PROVIDED IN A MANNER CONSISTENT AND COMPATIBLE WITH INITIAL DEVELOPMENT.
  11. A MINIMUM OF 10' LANDSCAPE SETBACK ALONG THE NORTH AND WEST RIGHTS OF WAY SHALL BE PROVIDED AS INDICATED ON THE PLAN. LANDSCAPE SHALL BE AS SHOWN.
- NOTE: WHEN THE "SHOPS ON MAIN" DEVELOPMENT STANDARDS ARE IN CONFLICT WITH THE SCHERERVILLE ZONING ORDINANCE, THE DEVELOPMENT STANDARDS SHALL APPLY.



MARCH 1, 2013

1 OF 16

SHOPS ON MAIN  
Schererville, IN

LANDSCAPE PLAN  
OVERVIEW

PLaCE

Landscape Architects Arborists Botanists  
1640 Gladys Avenue Grand Haven, MI 49417  
843.480.1343

American HID

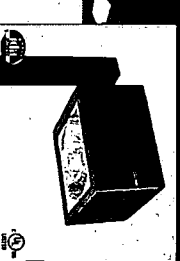


Table with columns: Fixture, Height, Lumens, etc. for American HID fixtures.

American HID

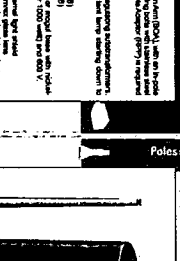


Table with columns: Fixture, Height, Lumens, etc. for American HID fixtures.

Poles - Bases

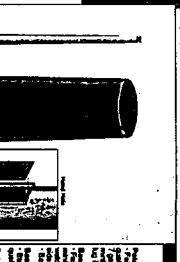


Table with columns: Pole, Height, Lumens, etc. for Round Tapered Steel Poles.

Poles - Bases

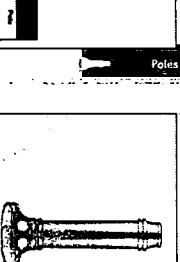


Table with columns: Pole, Height, Lumens, etc. for Round Tapered Steel Poles.

Poles - Bases

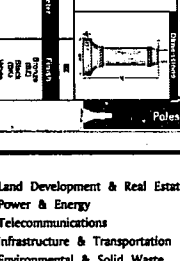


Table with columns: Pole, Height, Lumens, etc. for Round Tapered Steel Poles.

Monterey HID



Table with columns: Fixture, Height, Lumens, etc. for Monterey HID fixtures.

Monterey HID



Table with columns: Fixture, Height, Lumens, etc. for Monterey HID fixtures.

Monterey HID

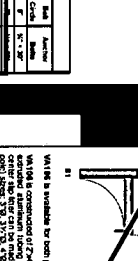


Table with columns: Fixture, Height, Lumens, etc. for Monterey HID fixtures.

Monterey HID

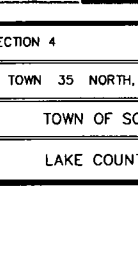


Table with columns: Fixture, Height, Lumens, etc. for Monterey HID fixtures.

VISIONAIRE LIGHTING

VISIONAIRE LIGHTING

VISIONAIRE LIGHTING

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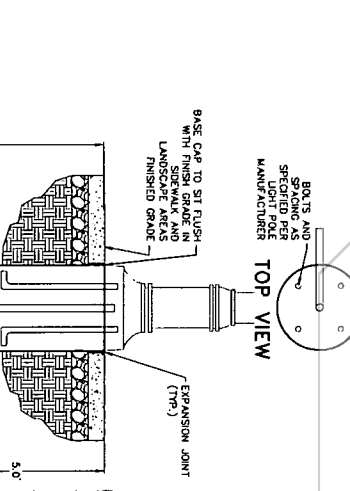
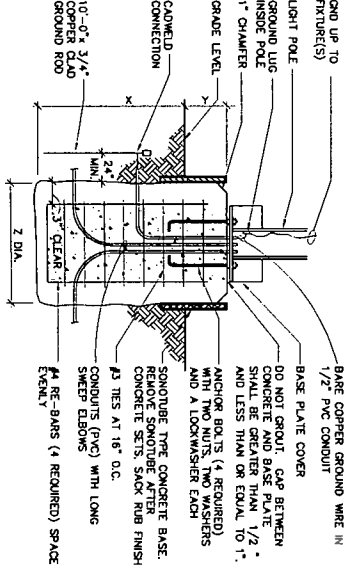
VISIONAIRE LIGHTING

VISIONAIRE LIGHTING



2 WORKING DAYS BEFORE YOU CALL LUPPS

NOTICE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY...



NOTES: 1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS WITH 6% AIR ENTRAINMENT.

NOTES: 1. DEVELOPMENT STANDARDS THE REAL ESTATE SHALL BE DEVELOPED IN GENERAL CONFORMANCE WITH THE PROPOSED SITE PLAN AND THE OTHER PLANS INCLUDED IN THE PRIMARY DEVELOPMENT PLAN.

NOTES: 1. CONCRETE SHALL BE 4000 PSI AT 28 DAYS WITH 6% AIR ENTRAINMENT.

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ATWELL logo and contact information: 866.850.4200 | www.atwell-group.com

CLIENT: RB SCHERERVILLE CROSSINGS, L.L.C. SECTION 4 TOWN 35 NORTH, RANGE 9 WEST TOWNE OF SCHERERVILLE LAKE COUNTY, INDIANA

SCALE: NTS DATE: 01/18/13 CLIENT: RB SCHERERVILLE CROSSINGS, L.L.C. SECTION 4 TOWN 35 NORTH, RANGE 9 WEST TOWNE OF SCHERERVILLE LAKE COUNTY, INDIANA