

STATE OF INDIANA  
LAKE COUNTY  
FILED TOP RECORD

2008 065772

2008 SEP 19 AM 9:23

Parcel No. 45-11-28-327-008.000-035

MICHAEL A. BROWN  
RECORDER

**WARRANTY DEED**

ORDER NO. 920085156

THIS INDENTURE WITNESSETH, That Eleobardo Moreno and Maria G. Moreno, husband and wife

(Grantor)

of Lake County, in the State of INDIANA CONVEY(S) AND WARRANT(S)  
to M.C. Construction Enterprises, II, Inc., an Indiana Corporation

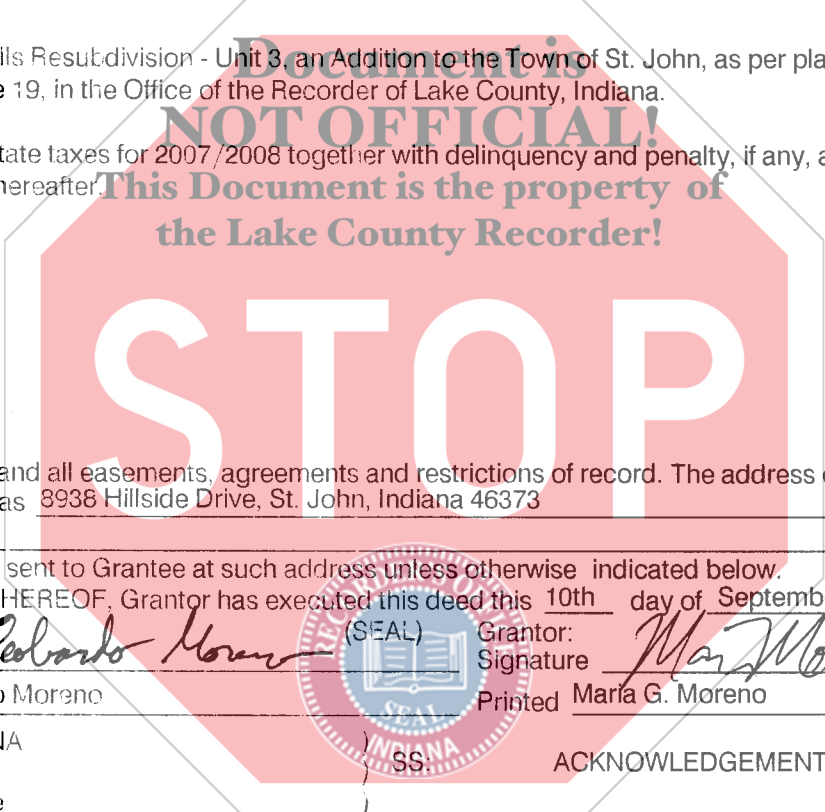
(Grantee)

of Lake County, in the State of INDIANA, for the sum of ONE DOLLAR AND 00/100 Dollars (\$ 1.00)

and other valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the following described real estate in Lake County, State of Indiana:

Lot 106, in Lake Hills Resubdivision - Unit 3, an Addition to the Town of St. John, as per plat thereof recorded in Plat Book 98, page 19, in the Office of the Recorder of Lake County, Indiana.

Subject to Real Estate taxes for 2007/2008 together with delinquency and penalty, if any, and all Real Estate taxes due and payable thereafter.



Subject to any and all easements, agreements and restrictions of record. The address of such real estate is commonly known as 8938 Hillside Drive, St. John, Indiana 46373

Tax bills should be sent to Grantee at such address unless otherwise indicated below.

IN WITNESS WHEREOF, Grantor has executed this deed this 10th day of September, 2008.

Grantor: Eleobardo Moreno (SEAL) Grantor: Maria G. Moreno (SEAL)  
Signature \_\_\_\_\_ Signature \_\_\_\_\_  
Printed Eleobardo Moreno Printed Maria G. Moreno

STATE OF INDIANA

SS. ACKNOWLEDGEMENT

COUNTY OF Lake

Before me, a Notary Public in and for said County and State, personally appeared Eleobardo Moreno and Maria G. Moreno

who acknowledge the execution of the foregoing Warranty Deed, and who, having been duly sworn, stated that any representations therein contained are true.

Witness my hand and Notarial Seal this 10th day of September, 2008

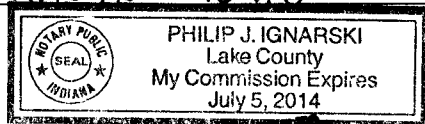
My commission expires:  
JULY 5, 2014

Signature: Philip J. Ignarski  
Printed PHILIP J. IGNARSKI, Notary Name  
Resident of LAKE County, Indiana.

This instrument prepared by Timothy R. Kuiper 130 N. Main St., Crown Point, IN 46307

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Philip J. Ignarski

Return deed to 5168 E. 81st Ave., Merrillville, IN 46410  
Send tax bills to 5168 E. 81st Ave., Merrillville, IN 46410  
(Grantee Mailing Address)



**TICOR CP**

**015698**

DULY ENTERED FOR TAXATION SUBJECT TO  
FINAL ACCEPTANCE FOR TRANSFER

SEP 17 2008

PEGGY HOLINGA KATONA  
LAKE COUNTY AUDITOR

16 TX  
PB