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STATE OF INDIANA
LAKE COUNTY
FILED FOR RECORD

2007 027364

2007 APR - 3 PH 12: 54

MICHAEL ALBROWN RECORDED

RECORDATION REQUESTED BY: Allegiance Community Bank 8001 W. 183rd Street Tinley Park, IL 60487

WHEN RECORDED MAIL TO:
Allegiance Community Bank
8001 W. 183rd Street
Tinley Park, IL 60487

## MODIFICATION OF MORTGAGE

THIS MODIFICATION OF MORTGAGE dated February 9, 2007, is made and executed between SHAWN HOOVER, NANETTE HOOVER, HUSBAND AND WIFE and GC CONSTRUCTION COMPANY LLC, an Indiana Limited Liability Corporation (referred to below as "Grantor") and Allegiance Community Bank, whose address is 8001 W. 183rd Street, Tinley Park, IL 60487 (referred to below as "Lender").

MORTGAGE. Lender and Grantor have entered into a Mortgage dated October 2, 2006 (the "Mortgage") which has been recorded in LAKE County, State of Indiana, as follows:

RECORDED OCTOBER 6, 2006 AS DOCUMENT NO. 2006 087660 IN THE OFFICE OF THE LAKE COUNTY RECORDER OF DEEDS OFFICE.

REAL PROPERTY DESCRIPTION. The Mortgage covers the following described real property located in LAKE County, State of Indiana:

LOT 22 DOUBLETREE LAKE ESTATES PHASE 1 IN THE TOWN OF WINFIELD AS PER PLAT THEREOF RECORDED IN PLAT BOOK 84 PAGE 43 IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

The Real Property or its address is commonly known as 8390 DOUBLETREE COURT, CROWN POINT, IN 46307. The Real Property tax identification number is 44-54-0072-0022.

MODIFICATION. Lender and Grantor hereby modify the Mortgage as follows:

THE ORIGINAL PROMISSORY NOTE DATED OCTOBER 2, 2006 WITH A MATURITY DATE OF OCTOBER 2, 2007 IN THE ORIGINAL AMOUNT OF \$412,520.00 FROM GC CONSTRUCTION COMPANY, LLC an

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## MODIFICATION OF MORTGAGE (Continued)

Loan No: 11802801

Page 2

Indiana Limted Liabilty Corporation TO ALLEGIANCE COMMUNITY BANK IS NOW MODIFIED AS FOLLOWS: THE NOTE AMOUNT IS INCREASED FROM \$412,520.00 TO 468,750.00.

CONTINUING VALIDITY. Except as expressly modified above, the terms of the original Mortgage shall remain unchanged and in full force and effect and are legally valid, binding, and enforceable in accordance with their respective terms. Consent by Lender to this Modification does not waive Lender's right to require strict performance of the Mortgage as changed above nor obligate Lender to make any future modifications. Nothing in this Modification shall constitute a satisfaction of the promissory note or other credit agreement secured by the Mortgage (the "Note"). It is the intention of Lender to retain as liable all parties to the Mortgage and all parties, makers and endorsers to the Note, including accommodation parties, unless a party is expressly released by Lender in writing. Any maker or endorser, including accommodation makers, shall not be released by virtue of this Modification. If any person who signed the original Mortgage does not sign this Modification, then all persons signing below acknowledge that this Modification is given conditionally, based on the representation to Lender that the non-signing person consents to the changes and provisions of this Modification or otherwise will not be released by it. This waiver applies not only to any initial extension or modification, but also to all such subsequent actions.

GRANTOR ACKNOWLEDGES HAVING READ ALL THE PROVISIONS OF THIS MODIFICATION OF MORTGAGE AND GRANTOR AGREES TO ITS TERMS. THIS MODIFICATION OF MORTGAGE IS DATED FEBRUARY 9, 2007.

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GRANTOR:	
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x 4 moth Ampl	the Lake County Recorder!
NAMETTE HOOVER, Indivi	dually
GC CONSTRUCTION COMPA	ANY LLC, AN INDIANA LIMITED LIABILITY
SOM SHATION	
Ву:	
BRUCE YOUNG, Member	of GC CONSTRUCTION COMPANY
LLC, an Indiana Limited Lie	ability Corporation
Ву:	Tres
LAWBENCE CO'CONNELL	., Member of GC CONSTRUCTION
CUIVIPANY LLC, an Indiana	a Limited Liability Corporation

## MODIFICATION OF MORTGAGE (Continued)

Loan No: 11802801 Page 3 LENDER: **ALLEGIANCE COMMUNITY BANK** elson, AVP Authorized Signer INDIVIDUAL ACKNOWLEDGMENT STATE OF + 110015 ) ) SS COUNTY OF \_\_\_ Cool On this day before me, the undersigned Notary Public, personally appeared SHAWN HOOVER and NANETTE HOOVER, to me known to be the individuals described in and who executed the Modification of Mortgage, and acknowledged that they signed the Modification as their free and voluntary act and deed, for the uses and purposes therein mentioned. This Document is the property of Rday of debruan Given under my hand and official seal this ake County Ву Residing at Notary Public in and for the State of 3/24/10 My commission expires OFFICIAL SEAL LUSE CHAVEZ NOTARY PUBLIC STATE OF ILLINOIS MY COMMISSION EXPIRES 03/24/10

Loan No: 11802801

Ву

Notary Public in and for the State of allinois

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Notary Public, per	rsonally appeared	BRUCE YOUNG,	Wember; LAWR	ENCE O'C	ONNELL. Memb	er of GC
designated agents	COMPANY LLC, an los of the limited	Indiana Limited Lia	ability Corporation	and knowr	n to me to be me	embers o
acknowledged the	Modification to be	the free and volu	inal executed intary act and de	ed of the lim	cation or Morti	gage and noany hy
authority of statute	e, its articles of org	ganization or its o	perating agreeme	ent, for the u	ises and purpos	es thereir
mentioned, and on	oath stated that the	hey are authorized	d to execute this	Modification	and in fact exe	cuted the
Modification on bel	half of the limited lia	ability company.				
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Residing at

My commission expires

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NOTARY PUBLIC STATE OF (LINOIS
MY COMMISSION EXPIRES (13/24/10)

Loan No: 11802801

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law (LUS CHAVEZ).

This Modification of Mortgage was prepared by: LUS CHAVEZ

