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STATE OF INDIANA
LAKE COUNTY
FILED FOR RECORD

2007 027364

2007 APR -3 PM 12:54

MICHAEL A. BROWN
RECORDED

RECORDATION REQUESTED BY:

Allegiance Community Bank
8001 W. 183rd Street
Tinley Park, IL 60487

WHEN RECORDED MAIL TO:

Allegiance Community Bank
8001 W. 183rd Street
Tinley Park, IL 60487

MODIFICATION OF MORTGAGE

THIS MODIFICATION OF MORTGAGE dated February 9, 2007, is made and executed between SHAWN HOOVER, NANETTE HOOVER, HUSBAND AND WIFE and GC CONSTRUCTION COMPANY LLC, an Indiana Limited Liability Corporation (referred to below as "Grantor") and Allegiance Community Bank, whose address is 8001 W. 183rd Street, Tinley Park, IL 60487 (referred to below as "Lender").

MORTGAGE. Lender and Grantor have entered into a Mortgage dated October 2, 2006 (the "Mortgage") which has been recorded in LAKE County, State of Indiana, as follows:

RECORDED OCTOBER 6, 2006 AS DOCUMENT NO. 2006 087660 IN THE OFFICE OF THE LAKE COUNTY RECORDER OF DEEDS OFFICE.

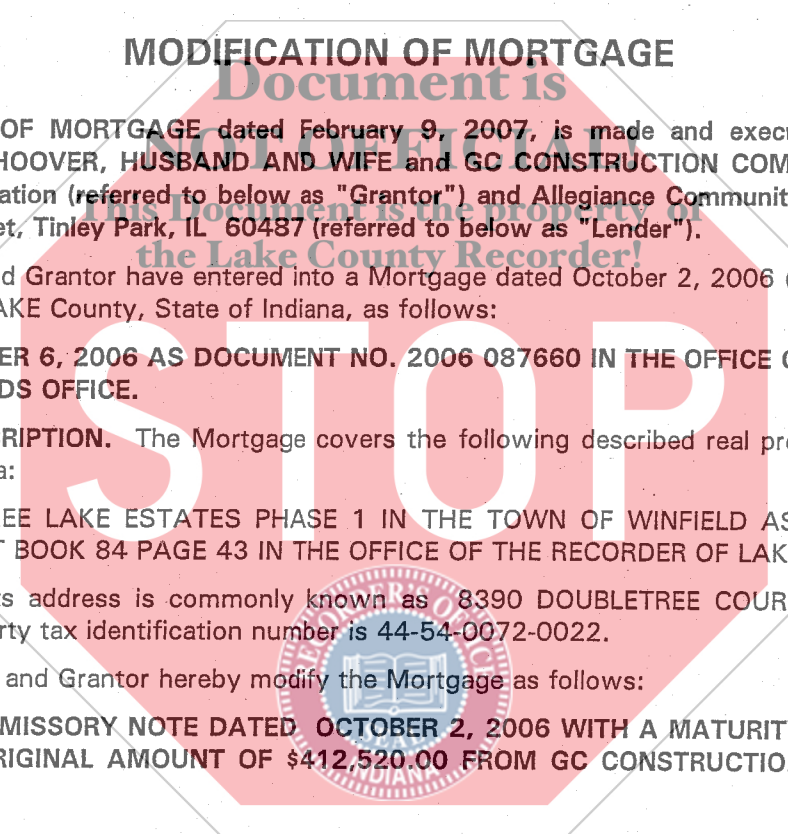
REAL PROPERTY DESCRIPTION. The Mortgage covers the following described real property located in LAKE County, State of Indiana:

LOT 22 DOUBLETREE LAKE ESTATES PHASE 1 IN THE TOWN OF WINFIELD AS PER PLAT THEREOF RECORDED IN PLAT BOOK 84 PAGE 43 IN THE OFFICE OF THE RECORDER OF LAKE COUNTY, INDIANA.

The Real Property or its address is commonly known as 8390 DOUBLETREE COURT, CROWN POINT, IN 46307. The Real Property tax identification number is 44-54-0072-0022.

MODIFICATION. Lender and Grantor hereby modify the Mortgage as follows:

THE ORIGINAL PROMISSORY NOTE DATED OCTOBER 2, 2006 WITH A MATURITY DATE OF OCTOBER 2, 2007 IN THE ORIGINAL AMOUNT OF \$412,520.00 FROM GC CONSTRUCTION COMPANY, LLC an



13.00
P.M.
7051
12986

MODIFICATION OF MORTGAGE
(Continued)

Loan No: 11802801

Page 2

Indiana Limited Liability Corporation TO ALLEGIANCE COMMUNITY BANK IS NOW MODIFIED AS FOLLOWS: THE NOTE AMOUNT IS INCREASED FROM \$412,520.00 TO 468,750.00.

CONTINUING VALIDITY. Except as expressly modified above, the terms of the original Mortgage shall remain unchanged and in full force and effect and are legally valid, binding, and enforceable in accordance with their respective terms. Consent by Lender to this Modification does not waive Lender's right to require strict performance of the Mortgage as changed above nor obligate Lender to make any future modifications. Nothing in this Modification shall constitute a satisfaction of the promissory note or other credit agreement secured by the Mortgage (the "Note"). It is the intention of Lender to retain as liable all parties to the Mortgage and all parties, makers and endorsers to the Note, including accommodation parties, unless a party is expressly released by Lender in writing. Any maker or endorser, including accommodation makers, shall not be released by virtue of this Modification. If any person who signed the original Mortgage does not sign this Modification, then all persons signing below acknowledge that this Modification is given conditionally, based on the representation to Lender that the non-signing person consents to the changes and provisions of this Modification or otherwise will not be released by it. This waiver applies not only to any initial extension or modification, but also to all such subsequent actions.

GRANTOR ACKNOWLEDGES HAVING READ ALL THE PROVISIONS OF THIS MODIFICATION OF MORTGAGE AND GRANTOR AGREES TO ITS TERMS. THIS MODIFICATION OF MORTGAGE IS DATED FEBRUARY 9, 2007.

GRANTOR:

X *Shawn Hoover*
SHAWN HOOVER, Individually

X *Nanette Hoover*
NANETTE HOOVER, Individually

GC CONSTRUCTION COMPANY LLC, AN INDIANA LIMITED LIABILITY CORPORATION

By: *Bruce Young*
BRUCE YOUNG, Member of GC CONSTRUCTION COMPANY LLC, an Indiana Limited Liability Corporation

By: *Lawrence O'Connell*
LAWRENCE O'CONNELL, Member of GC CONSTRUCTION COMPANY LLC, an Indiana Limited Liability Corporation



MODIFICATION OF MORTGAGE
(Continued)

Loan No: 11802801

Page 3

LENDER:

ALLEGIANCE COMMUNITY BANK

x *Mary Anderson, AVP*
Authorized Signer

INDIVIDUAL ACKNOWLEDGMENT

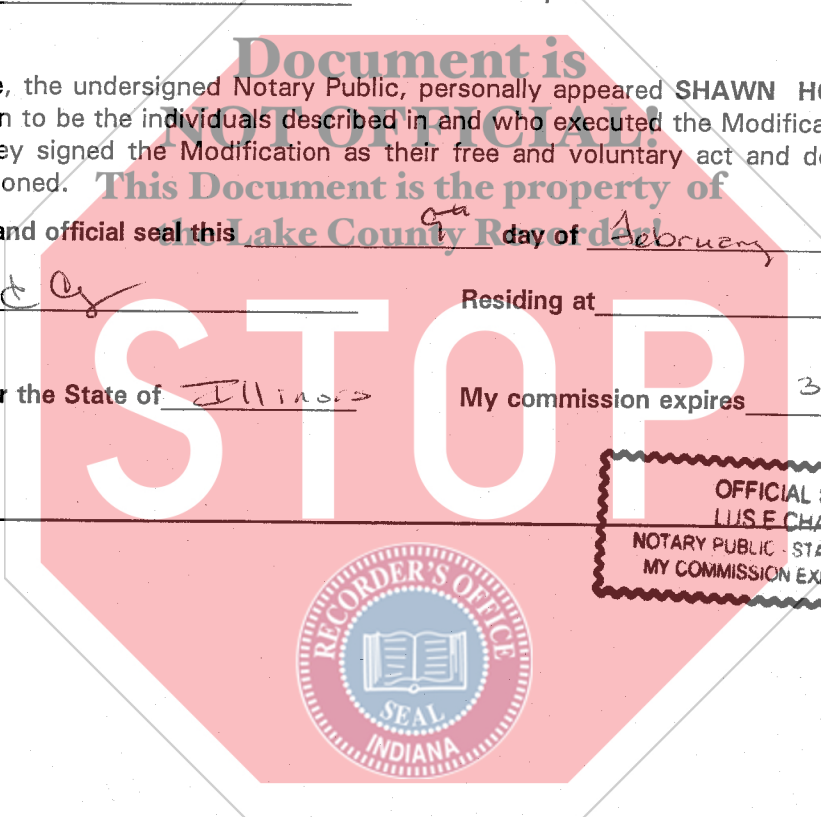
STATE OF Illinois)
) SS
COUNTY OF Cook)

On this day before me, the undersigned Notary Public, personally appeared **SHAWN HOOVER** and **NANETTE HOOVER**, to me known to be the individuals described in and who executed the Modification of Mortgage, and acknowledged that they signed the Modification as their free and voluntary act and deed, for the uses and purposes therein mentioned.

Given under my hand and official seal this 9th day of February, 2007.

By *[Signature]* Residing at _____

Notary Public in and for the State of Illinois My commission expires 3/24/10



MODIFICATION OF MORTGAGE
(Continued)

Loan No: 11802801

Page 4

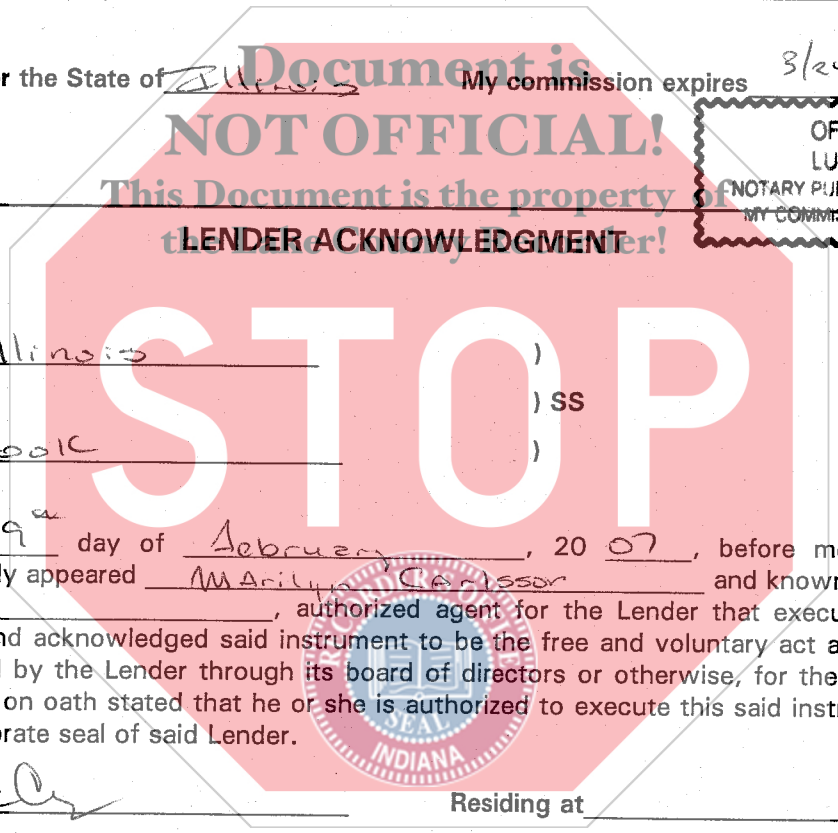
LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF Illinois)
) SS
COUNTY OF Cook)

On this 9th day of February, 20 07, before me, the undersigned Notary Public, personally appeared **BRUCE YOUNG, Member; LAWRENCE O'CONNELL, Member of GC CONSTRUCTION COMPANY LLC, an Indiana Limited Liability Corporation**, and known to me to be members or designated agents of the limited liability company that executed the Modification of Mortgage and acknowledged the Modification to be the free and voluntary act and deed of the limited liability company, by authority of statute, its articles of organization or its operating agreement, for the uses and purposes therein mentioned, and on oath stated that they are authorized to execute this Modification and in fact executed the Modification on behalf of the limited liability company.

By [Signature] Residing at _____

Notary Public in and for the State of Illinois My commission expires 3/24/10



STATE OF Illinois)
) SS
COUNTY OF Cook)

On this 9th day of February, 20 07, before me, the undersigned Notary Public, personally appeared Marilyn Carlsor and known to me to be the authorized agent for the Lender that executed the within and foregoing instrument and acknowledged said instrument to be the free and voluntary act and deed of the said Lender, duly authorized by the Lender through its board of directors or otherwise, for the uses and purposes therein mentioned, and on oath stated that he or she is authorized to execute this said instrument and that the seal affixed is the corporate seal of said Lender.

By [Signature] Residing at _____

Notary Public in and for the State of Illinois My commission expires 3/24/10



**MODIFICATION OF MORTGAGE
(Continued)**

Loan No: 11802801

Page 5

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law (LUS CHAVEZ).

This Modification of Mortgage was prepared by: LUS CHAVEZ

